

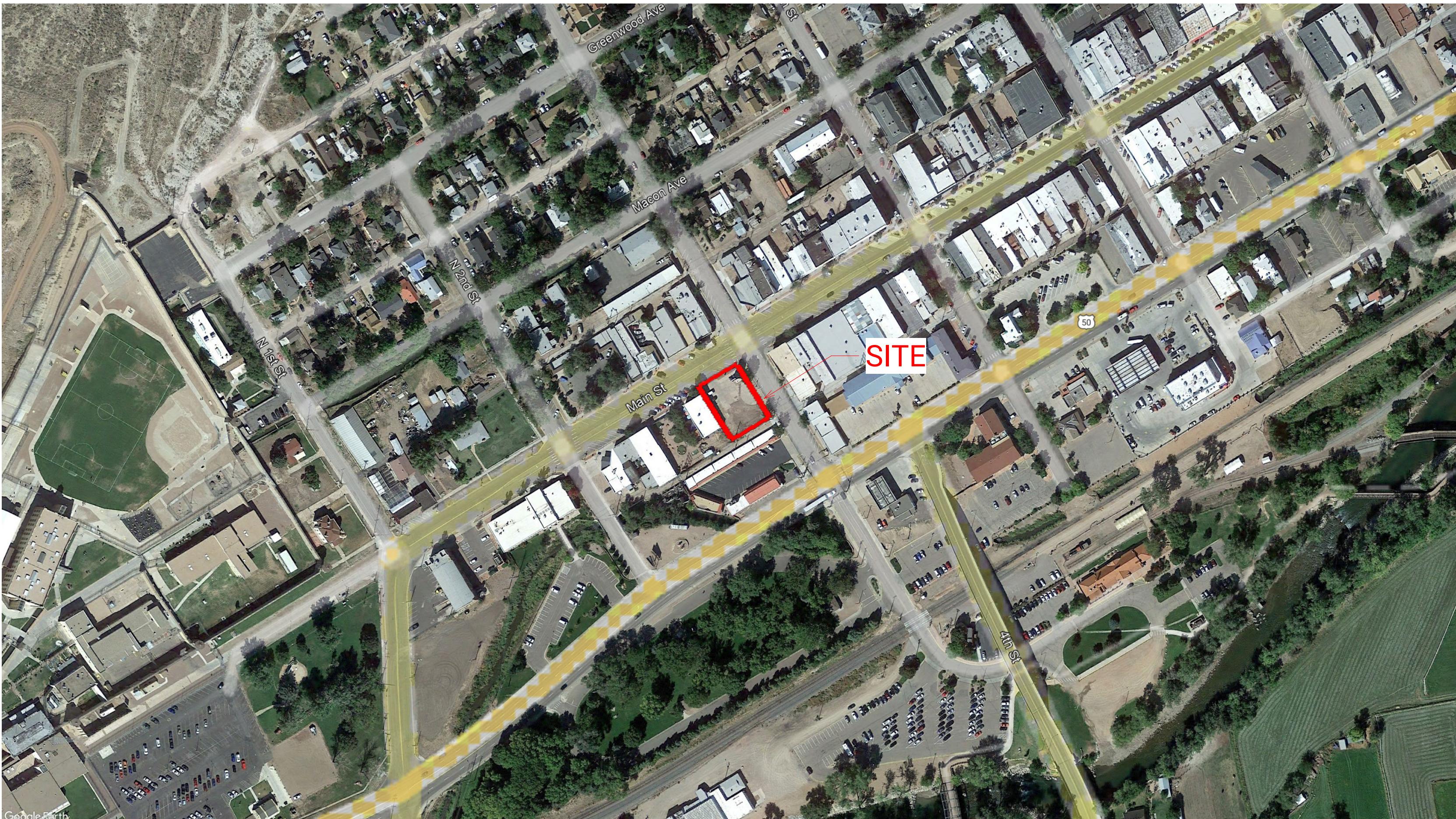
# CLOCK TOWER PLAZA

LOCATED IN THE SE 1/4 OF SECTION 32, TOWNSHIP 18 SOUTH,  
RANGE 70 WEST OF THE SIXTH P.M.  
CITY OF CAÑON CITY, COUNTY OF FREMONT, STATE OF COLORADO

50% PROGRESS SET

ISSUED : SEPTEMBER 14, 2023

## PROJECT LOCATION



## PROJECT TEAM

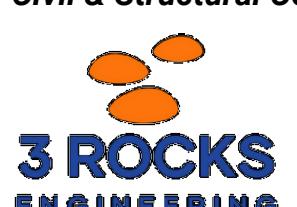
### Landscape Architecture



Livable Cities Studio  
3827 Lafayette St Suite 135,  
Denver, CO 80205  
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Will Viitanen  
[wviitanen@livable-cities.com](mailto:wviitanen@livable-cities.com)

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CLIENT



City of Cañon City  
P.O. BOX 1460  
CAÑON CITY, CO 81215



**CLOCK TOWER  
PLAZA**

232 MAIN STREET, COLORADO  
CAÑON CITY, COLORADO

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L510	PLANTING DETAILS

REVISIONS / SUBMISSIONS		
NO	DATE	DESCRIPTION

ISSUE  
50% PROGRESS SET

DATE: 08/31/2023



SHEET INFORMATION  
DRAWN BY: CM, MRW  
CHECKED BY: WV

SHEET TITLE  
COVER SHEET

SHEET NUMBER

**G100**



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## KEY PLAN



# CLOCK TOWER PLAZA

232 MAIN STREET  
CAñON CITY, COLORADO

## GRADING & DRAINAGE NOTES

1. ALL PLANTERS AND PAVING AREAS SHALL HAVE POSITIVE SLOPE TO LOCAL AREA DRAINS.
  2. EXISTING UNDERGROUND UTILITIES ARE SHOWN PER AVAILABLE RECORDS. VERIFY THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION OF THE NEW FACILITIES. PROTECT EXISTING UTILITIES AND BE RESPONSIBLE FOR DAMAGE TO UTILITIES ENCOUNTERED DURING CONSTRUCTION.
  3. REQUEST INSPECTION AS REQUIRED 48 HOURS IN ADVANCE OF PERFORMING ANY WORK UNLESS OTHERWISE NOTED ON THIS SHEET.
  4. DEBRIS CREATED BY REMOVAL OPERATIONS BECOME THE PROPERTY OF THE CONTRACTOR AND IS TO BE LEGALLY DISPOSED OF AWAY FROM THE JOB SITE.
  5. NOTIFY LOCAL UNDERGROUND SERVICE COMPANIES FOR UTILITY FINDS 48 HOURS PRIOR TO ANY EXCAVATION.

## AYOUT NOTES

1. REFERENCE BOULDER/STONE DETAILS FOR PROPER SETTING, INCLUDING DEPTH TO BURY.
  2. CONTRACTOR TO FLAG BOULDER LAYOUT ARCS AND LOCATIONS FOR LANDSCAPE ARCHITECT AND CLIENT TO REVIEW PRIOR TO FINAL SETTING
  3. LANDSCAPE ARCHITECT TO CONFIRM ORIENTATION OF AND TOP ELEVATION OF BOULDERS
  4. PROPOSED FINISHED GRADE ELEVATIONS FOR ITEMS TO BE ADJUSTED, RESET OR MODIFIED SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
  5. VERIFY LAYOUT AND DIMENSIONS PRIOR TO CONSTRUCTION. BRING DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
  6. FOR DIMENSIONS OF BUILDING, STRUCTURAL, AND RELATED WORK, REFER TO THE PLANS PROVIDED BY THE APPROPRIATE DISCIPLINE.
  7. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS.
  8. WHERE DIMENSIONS ARE CALLED AS "EQUAL," SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES, OR AS NOTED IN DRAWINGS.
  9. MEASUREMENTS ARE TO FACE OF WALL, STAIR, OR OTHER FIXED SITE IMPROVEMENT AS INDICATED. DIMENSIONS TO CENTER LINES IS INDICATED.
  10. INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.
  11. ON THE GROUND FLOOR, PROVIDE EXPANSION JOINTS WHERE CONCRETE FLATWORK MEETS VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS AND BUILDING ELEMENTS.

## PLANTING NOTES

1. ON THE GROUND FLOOR, REFER TO CIVIL ENGINEER'S UTILITY AND PRECISE GRADING PLANS FOR UTILITY LOCATION AND FINAL GRADING. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
  2. VERIFY LOCATIONS OF PERTINENT PROJECT IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO PROJECT CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
  3. EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
  4. VERIFY PLANT COUNTS AND SQUARE FOOTAGES: QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL.
  5. TREES TO BE PLANTED A MINIMUM OF 4 FEET FROM PAVEMENT OR WALLS, EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.
  6. PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
  7. PRUNE NEWLY PLANTED TREES ONLY AS DIRECTED BY LANDSCAPE ARCHITECT.
  8. ALIGN AND EQUALLY SPACE IN ALL DIRECTIONS SHRUBS SO DESIGNATED PER THESE NOTES AND DRAWINGS.
  9. FINISH GRADES OF PLANTING BEDS SHALL BE 2 INCHES BELOW ADJACENT PAVING, HEADER OR WALL.
  10. PROVIDE BURLAP WRAPPING TO SECOND BRANCH WITH 50% OVERLAP.
  11. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.

## ABBREVIATIONS

&,\$	AND	EMER	EMERGENCY	N	NORTH
∠	ANGLE	ENCL	ENCLOSURE	NIC	NOT IN CONTRACT
@	AT	EP	ELEC. PANELBOARD	NO, #	NUMBER
¢	CENTERLINE	EPT	EXTERNAL PIPE THREAD	NOM	NOMINAL
Φ	CHANNEL	EQ	EQUAL	NTS	NOT TO SCALE
(E)	DIAMETER OR ROUND	EQUIP	EQUIPMENT		O
∞	EXISTING	EW	EACH WAY	OA	OVERALL
P	PENNY (NAIL)	EQUIV	EQUIVALENT	OBS	OBSCURE
#	PLATE	EXTN	EXTENSION	OC	ON CENTER
	POUND OR NUMBER	EXP	EXPOSED	OD	OUTSIDE DIAMETER/DIMENSION
A		EXST	EXISTING	OHMS	oval head machine screw
		EXT	EXTERIOR	OHWS	oval head wood screw
AB	ANCHOR BOLT			OPNG	OPENING
ABV	ABOVE			OPP	OPPOSITE
A/C	AIR CONDITIONING				
AC	ASPHALTIC CONCRETE	FAEM	FEMALE		
ACV	AUTOMATIC CONTROL VALVE		FLUID APPLIED ELASTOMERIC		
ACS PNL	ACCESS PANEL	FB	MEMBRANE	PA	PLANTING AREA
ACST	ACOUSTICAL	FBC	FLAT BAR	PC	PIECE
AD	AREA DRAIN	FBO	FURNISHED BY CONTRACTOR	PL	PROPERTY LINE
ADDM	ADDENDUM	FBRG	FURNISHED BY OTHERS	PLAM	PLASTIC LAMINATE PLATE
ADJ	ADJUSTABLE	FD	FIBERGLASS	PLAS	PLASTER
ADJA	ADJACENT	FDN	FLOOR DRAIN	PLBG	PLUMBING
AGGR	AGGREGATE	FF	FOUNDATION	PLGL	PLATE GLASS
AFF	ABOVE FINISH FLOOR	FG	FINISH FACE	PLYWD	PLYWOOD
ALUM	ALUMINUM	FHC	FINISH GRADE ELEVATION	PNL	PANEL
ALT	ALTERNATE	FHMS	FIRE HOSE CABINET	POC	POINT OF CONNECTION
ANOD	ANODIZED	FHWS	FLAT HEAD MACHINE SCREW	POL	POLISHED
APPROX	APPROXIMATE	FIN	FLAT HEAD WOOD SCREW	PR	PAIR
ASPH	ASPHALT	FL	FINISH(ED)	PRCST	PRECAST
ASSY	ASSEMBLY	FLASH	FLOOR	PT	PRESSURE TREATED, POINT OF TANGENCY
ARCH	ARCHITECT(URAL)	FLDG	FLASHING	PTD, P	PAINTED
B		FLUOR	FOLDING	PVC	POLYVINYL CHLORIDE
		FO	FLUORESCENT	PVMT	PAVEMENT
BC	BOTTOM OF CURB	FOC	FIBER OPTIC		
BCV	BUTTERFLY CHECK VALVE	FOS	FACE OF CONCRETE		
BD	BOARD	FPRF	FACE OF STUD(S)		
BEV	BEVEL	FR	FIREPROOF		
BFP	BACK FLOW PREVENTER	FS	FRAME		
BITUM	BITUMINOUS	FT	FINISHED SURFACE		
BLDG	BUILDING	FTG	FOOT, FEET	R	RISER, RADIUS
BLKG	BLOCKING	FUT	FOOTING	RAD	RADIUS
BM	BEAM, BENCHMARK		FUTURE	RB	REINFORCING BAR(S)
BOT	BOTTOM			RCP	REINFORCED CONCRETE PIPE
BRKT	BRACKET			RD	ROOF DRAIN
BRZ	BRONZE			REF	REFERENCE
BOS	BOTTOM OF STAIR			REINF	REINFORCES, REINFORCING
BSMT	BASEMENT	GA	GAUGE	REQ	REQUIRED
BTWN	BETWEEN	GALV	GALVANIZED	RESIL	RESILIENT
BRLP	BURLAP	GC	GENERAL CONTRACT(OR)	RO	ROUGH OPENING
BV	BALL VALVE	GI	GALVANIZED IRON/STEEL	RP	RECYCLED PLASTIC
C		GL	GLASS	RWD	REDWOOD
		GLB	GLASS BLOCK		
CAB	CABINET	GND	GROUND	S	SOUTH
CB	CATCH BASIN	GR	GRADE	SAN	SANITARY SEWER
CEM	CEMENT	GT	GRATE	SC	SOLID CORE
CER	CERAMIC			SC	SCALE
CU FT	CUBIC FOOT/FEET			SCHED	SCHEDULE
CHAM	CHAMFER			SCR	SCREEN
CI	CAST IRON	H	HIGH	SECT	SECTION
CIP	CAST IN PLACE	HB	HOSE BIBB	SF	SQUARE FOOT (FEET)
CJ	CONTROL JOINT	HC	HOLLOW CORE	SG	SUB GRADE ELEVATION
CL	CENTER LINE	HD	HEAVY DUTY, HOT DIP	SHT	SHEET
CLG	CEILING	HDBD	HARDBOARD	SL	SLOPE
CLKJ	CAULKED JOINT	HDR	HEADER	SLDG	SLIDING
CLO	CLOSET	HDWD	HARDWOOD	SP	SPACE(D)
CLR	CLEAR(ANCE)	HDWE	HARDWARE	SQ	SQUARE
CJ	CONTROL JOINT	HT	HEIGHT	SS	STORM SEWER
CO	CLEAN OUT	HM	HOLLOW METAL	SST, S/S	STAINLESS STEEL
COL	COLUMN	HORIZ	HORIZONTAL	STA	STATION
COMB	COMBINATION	HP	HIGH POINT, HIGH PRESSURE	STD	STANDARD
COMP	COMPRESS(ED), (ION), (IBLE)	HR	HANDRAIL	STL	STEEL
CONC	CONCRETE	HVAC	HEATING/VENTILATING	STOR	STORAGE
COND	CONDITION		AIR CONDITIONING	STRSL	STRUCTURAL
CONN	CONNECTION			SURR	SURROUND
CONSTR	CONSTRUCTION			SUSP	SUSPEND(ED)
CONT	CONTINUOUS	IBC	INSTALLED BY CONTRACTOR	SWC	SOLID WOOD CORE
CONTR	CONTRACTOR	IBO	INSTALLED BY OTHERS	SYM	SYMMETRICAL
CORR	CORRIGATED	ID	INSIDE DIAMETER/DIMENSION		
CHKV	CHECK VALVE	INCL	INCLUD(ED), (ING), (SIVE)		
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATION	T	TOP OF CURB
CSMT	CASEMENT	INT	INTERIOR/INTEGRAL	TC	TEMPERED
CT	CERAMIC TILE	INV	INVERT ELEVATION	TEMP	TOP OF
CTR	CENTER	IR	IRREGULAR	TO	THRESHOLD
CTSK	COUNTERSUNK, (SINK)	JT	JOINT	THR	TOP OF PAVEMENT
CU YD	CUBIC YARD(S)			TP	TREAD
D		KJ	KEYED JOINT	T	TOP OF STAIR
		KO	KNOCK-OUT	TS	TOP OF WALL
D	DEEP,DEPTH			TW	TOP OF WALL
DBL	DOUBLE			TYP	TYPICAL
DEMO	DEMOLISH, DEMOLITION				
DEP	DEPRESSED				
DEPT	DEPARTMENT				
DET	DETAIL				
DF	DRINKING FOUNTAIN	LA	LANDSCAPE AREA	U	UNFINISHED
DI	DUCTILE IRON	LAM	LAMINATE	UNF	UNLESS OTHERWISE NOTED
DIA	DIAMETER	LED	LIGHT EMITTING DIODE	UON	URINAL
DIAG	DIAGONAL	LFT	LINEAR FOOT	UR	
DICA	DRILLED IN CONCRETE ANCHOR	LP	LOW POINT	V	VINYL COMPOSITION TILE
DIM	DIMENSION	LT	LIGHT	VERT	VERTICAL
DN	DOWN	LVR	LOUVER	VWC	VINYL WALL COVERING
DR	DOOR	LWT	LIGHTWEIGHT	VNRPLAS	VENeer PLASTER
DS	DNWSPUT				
DSP	DRY STANDPIPE				
DWG	DRAWING				
E		M	MALE	W	WEST, WIDE, WIDTH
		MAX	MAXIMUM	W/	WITH
		MECH	MECHANICAL	WD	WOOD
		MEMB	MEMBRANE	WF	WIDE FLANGE
		MED	MEDIUM	W/O	WITHOUT
		MET	METAL	WO	WHERE OCCURS
		MFR	MANUFACTURER	WP	WATERPROOF (ING)
		MH	MANHOLE	WR	WATER RESISTANT
		MIN	MINIMUM	WSP	WET STAND PIPE
		MISC	MISCELLANEOUS	WT	WEIGHT
		MO	MASONRY OPENING	WWM	WELDED WIRE MESH
		MTD	MOUNTED		
		MTG	MOUNTING		
		MUJ	MULLION		

ABBREVIATIONS & LEGEND APPLY TO ALL SHEETS  
UNLESS OTHERWISE NOTED



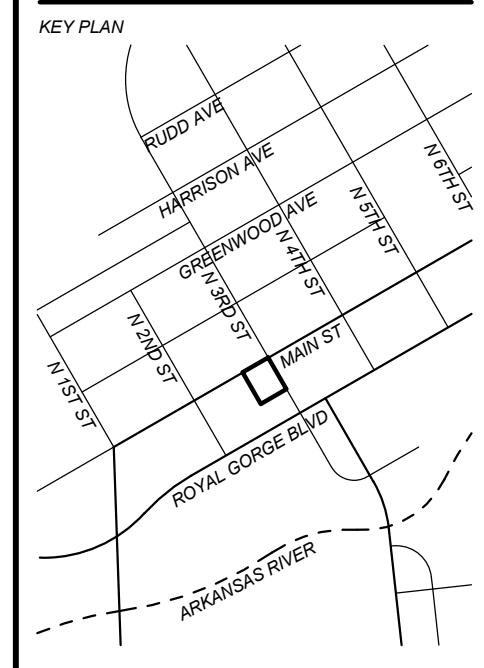
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**G101**

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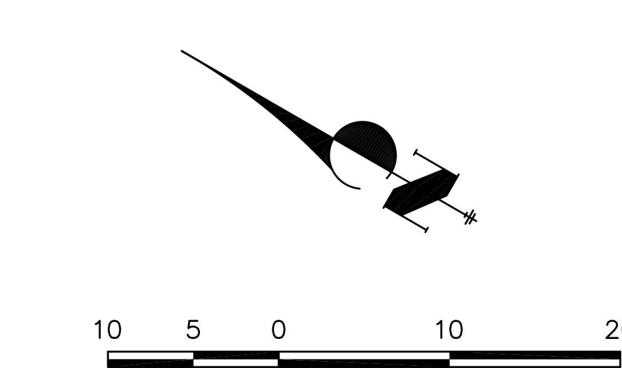
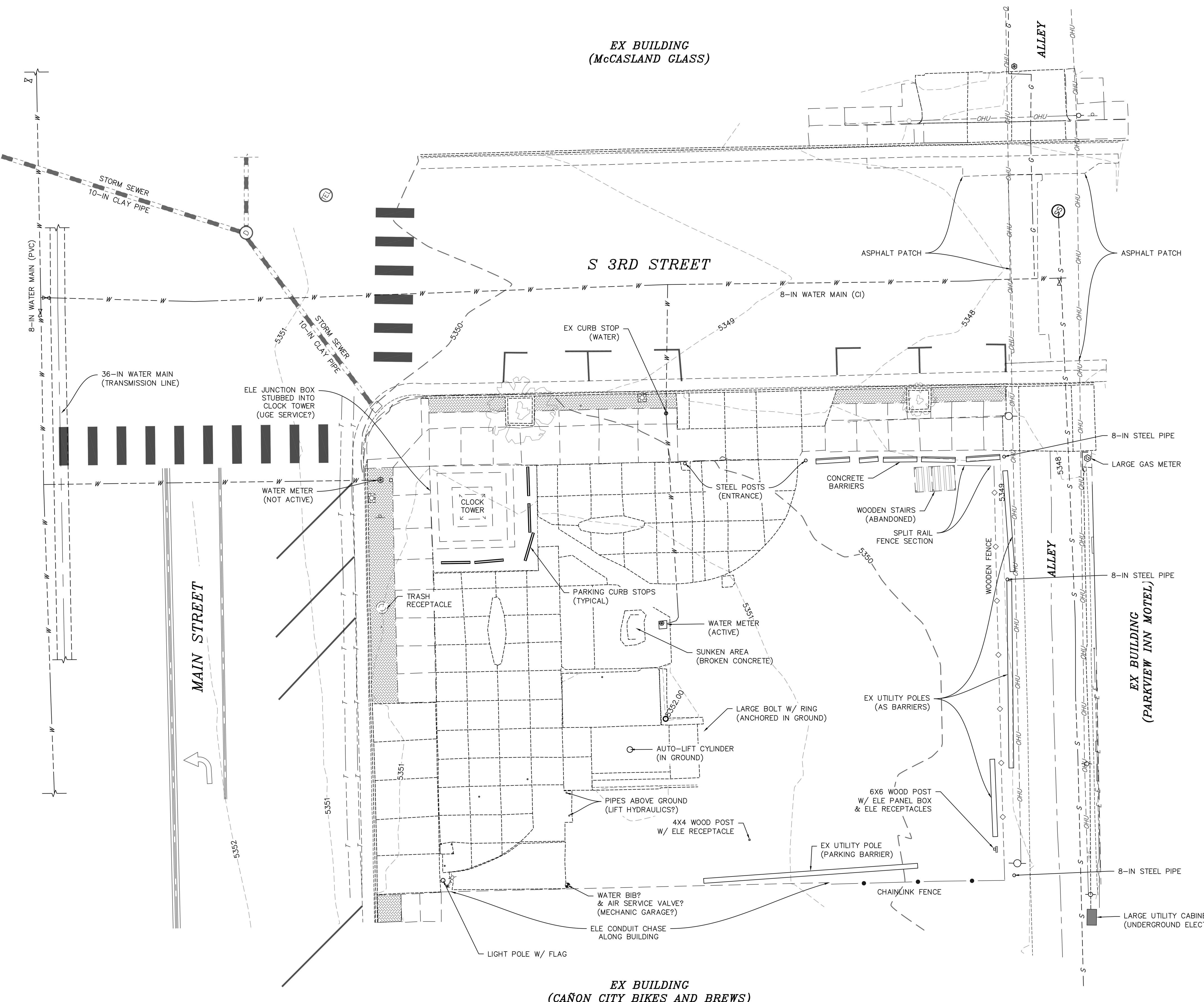
## CLOCK TOWER PLAZA

232 MAIN STREET  
CAÑON CITY, COLORADO

PRELIMINARY  
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CONSTRUCTION

### DISCLAIMER AND GENERAL NOTES:

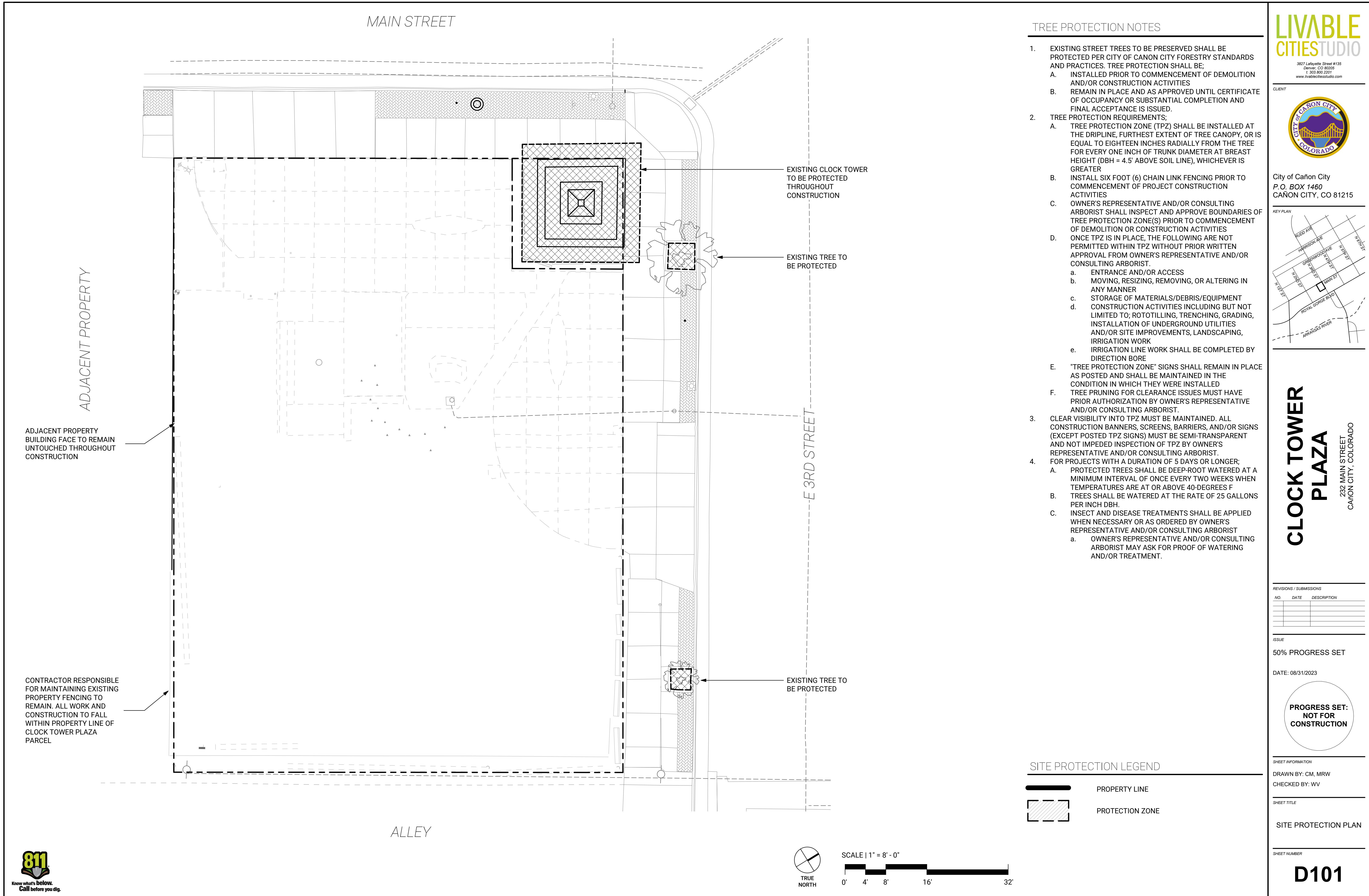
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3. ALL UTILITY LOCATES AND POTHOLE ARE APPROXIMATE; FIELD VERIFICATION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

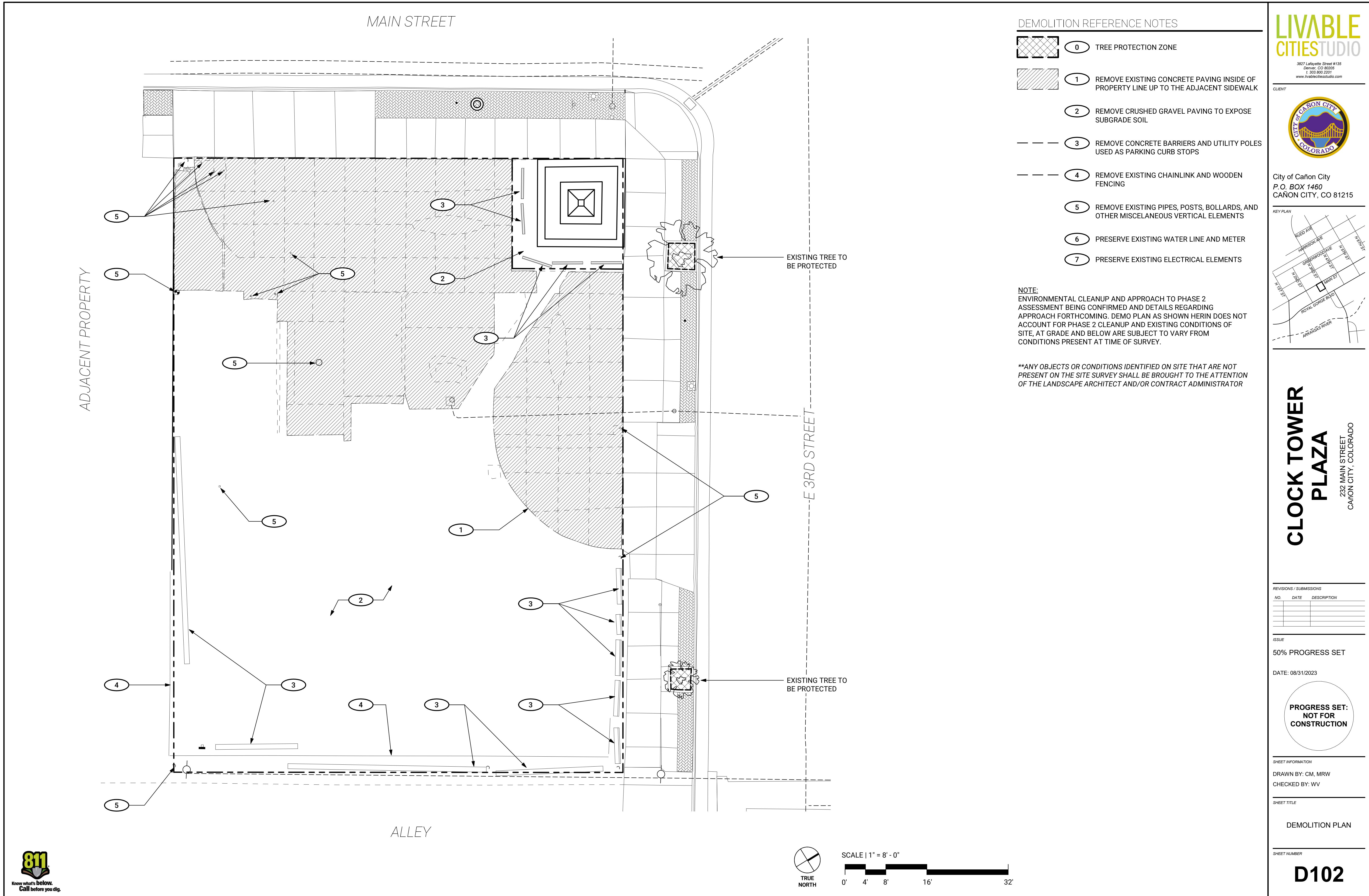


EXISTING SITE PLAN	
DRAWN BY: CM, MRW	232 MAIN STREET
DESIGNED BY: WV	CAÑON CITY, COLORADO
CHECKED BY: WV	HISTORICAL CLOCK TOWER
SCALE: AS NOTED	BID # ----, PROJECT # ----
	ENGINEERING DEPARTMENT
	CITY OF CAÑON CITY
	DATE: 10-04-2019 REVISED:



G102





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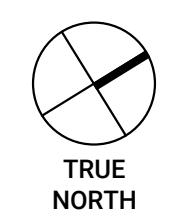


# CLOCK TOWER PLAZA

232 MAIN STREET  
CANON CITY, COLORADO

ADJACENT PROPERTY

MAIN STREET



SCALE | 1" = 8' - 0"



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REVISIONS / SUBMISSIONS	NO	DATE	DESCRIPTION

ISSUE

50% PROGRESS SET

DATE: 08/31/2023



PROGRESS SET:

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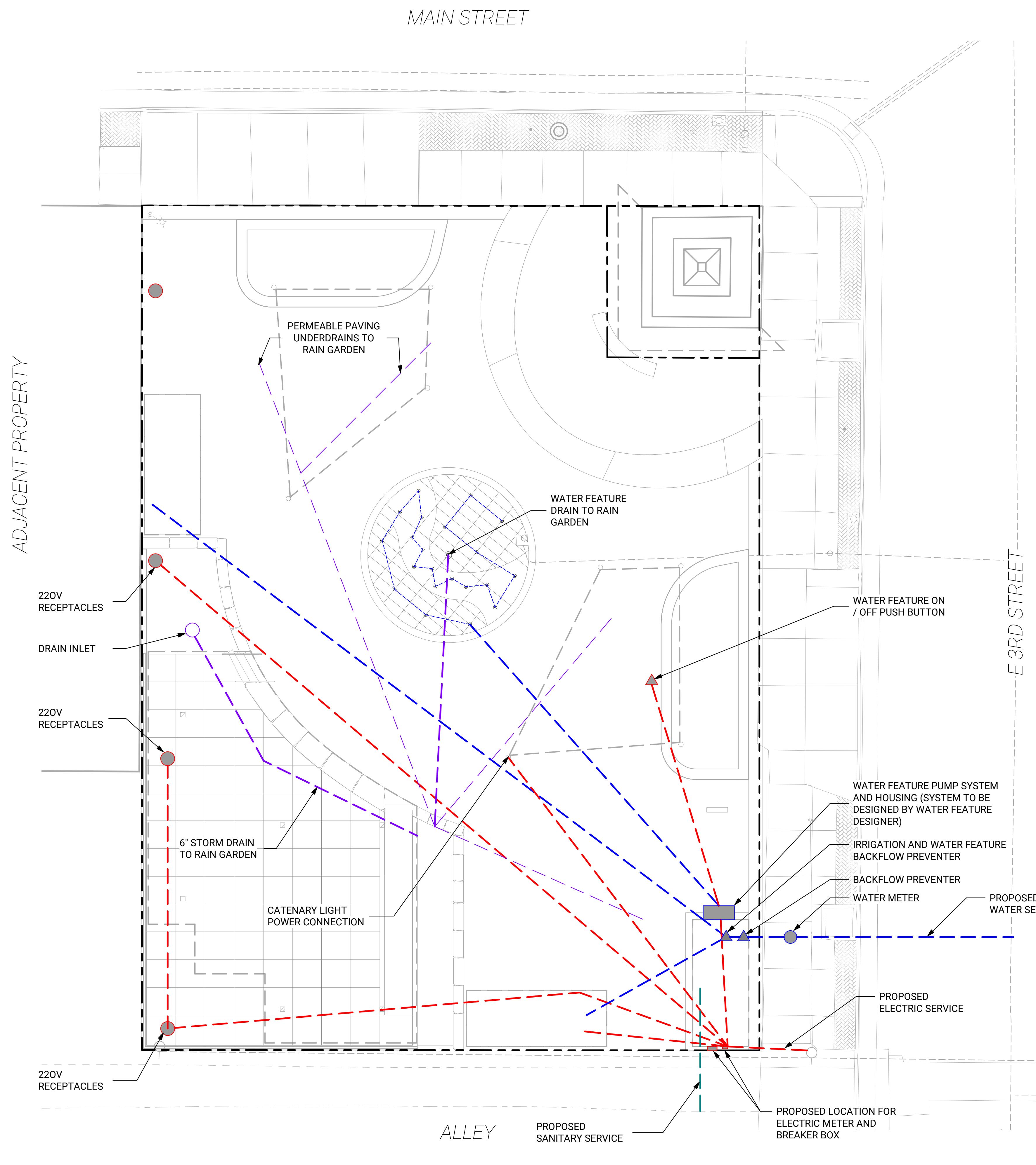


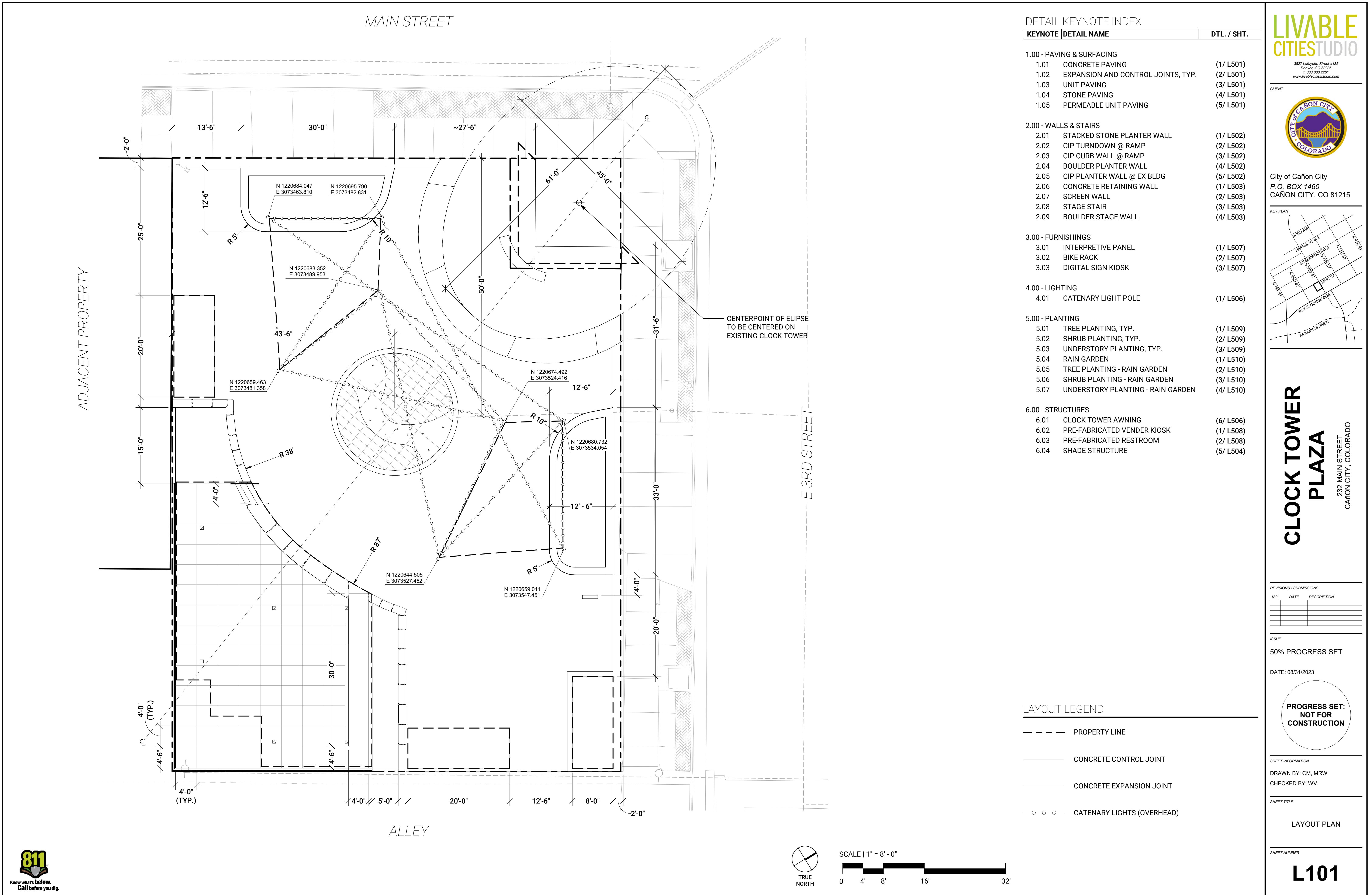
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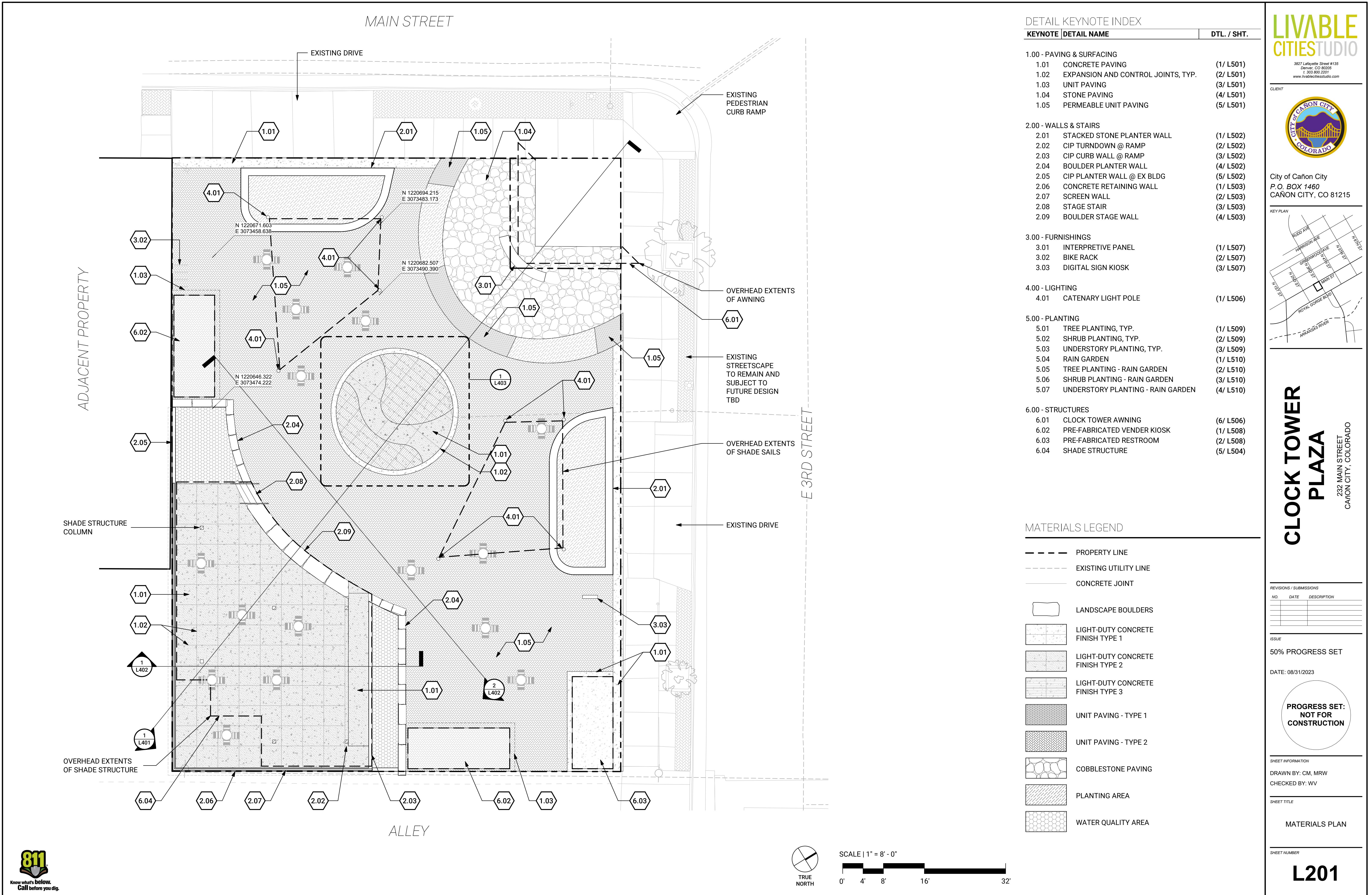
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DRAWN BY: CM, MRW  
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Sheet Title  
CONCEPTUAL UTILITIES PLAN

Sheet Number  
C302









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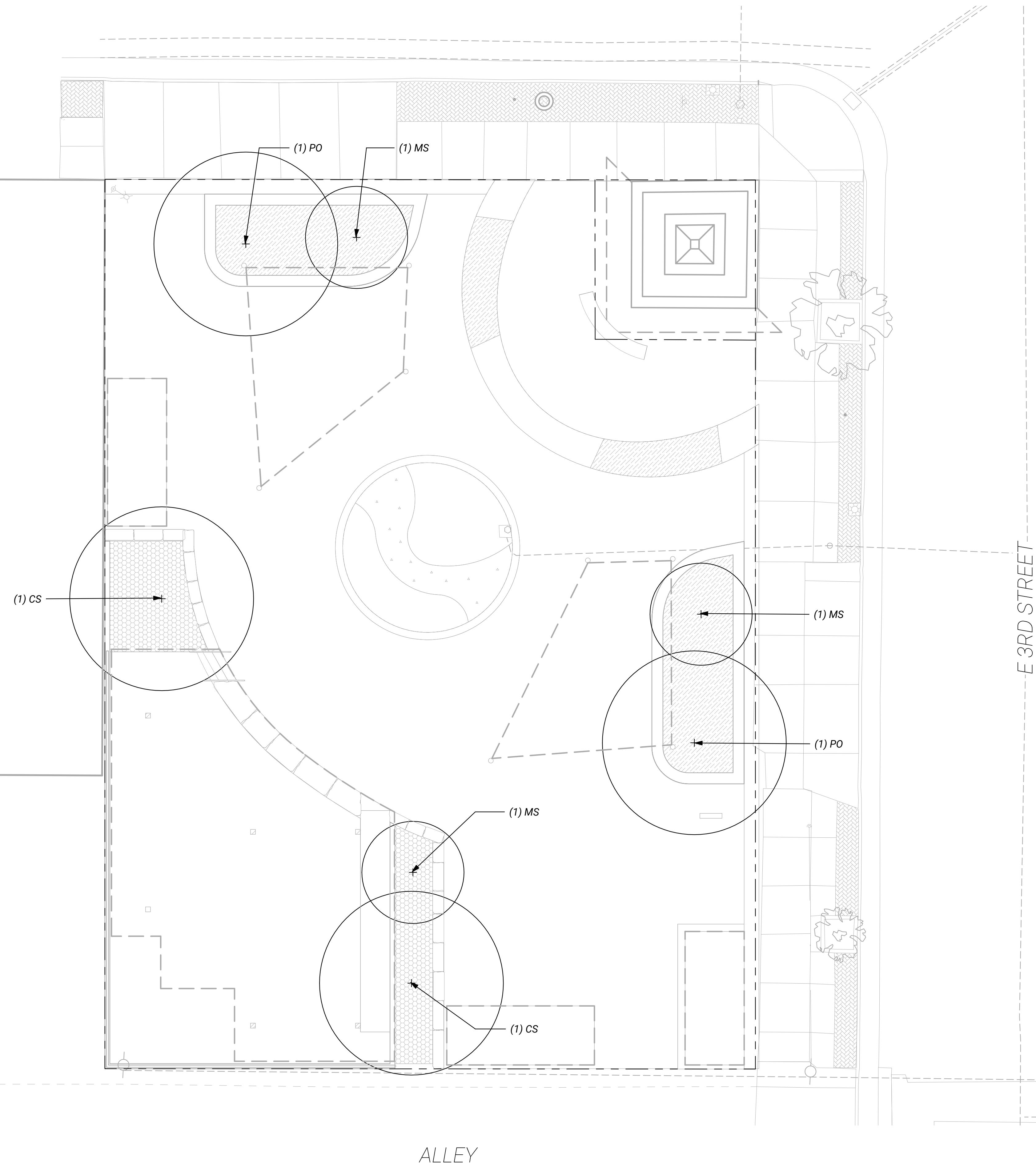


## CLOCK TOWER PLAZA

232 MAIN STREET  
CANON CITY, COLORADO

ADJACENT PROPERTY

MAIN STREET



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PLANT SCHEDULE

QTY	ABV	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>TREE</b>					
2	CS	Catalpa Speciosa	Northern Catalpa	3" CAL	30' O.C. MIN.
3	MS	Malus x 'Spring Snow'	Spring Snow Crabapple	3" CAL	6' O.C.
2	PO	Platanus occidentalis 'Bismarck'	Northern Advance Sycamore	3" CAL	30' O.C. MIN.

### PLANTING LEGEND

	XERIC PLANTING AREA
	WATER QUALITY PLANTING AREA

### XERIC PLANTING PALLETTE

<i>Rhus aromatica 'Gro-Low'</i>	Gro-Low Sumac
<i>Daphne x burkwoodii 'Carol Mackie'</i>	Carol Mackie Daphne
<i>Festuca glauca 'Boulder Blue'</i>	Boulder Blue Fescue
<i>Agastache rupestris</i>	Sunset Hyssop
<i>Salvia pachyphylla</i>	Mojave Sage

### WATER QUALITY PLANTING PALLETTE

<i>Cornus stolonifera 'Farrow'</i>	Arctic Fire Dogwood
<i>Panicum virgatum 'Shenandoah'</i>	Shenandoah Switchgrass
<i>Andropogon gerardii 'Windwalker'</i>	Windwalker Big Bluestem

### PLANTING KEYNOTE INDEX

KEYNOTE	DETAIL NAME	DTL. / SHT.
5.00 - PLANTING		
5.01	TREE PLANTING, TYP.	(1/ L509)
5.02	SHRUB PLANTING, TYP.	(2/ L509)
5.03	UNDERSTORY PLANTING, TYP.	(3/ L509)
5.04	RAIN GARDEN	(1/ L510)
5.05	TREE PLANTING - RAIN GARDEN	(2/ L510)
5.06	SHRUB PLANTING - RAIN GARDEN	(3/ L510)
5.07	UNDERSTORY PLANTING - RAIN GARDEN	(4/ L510)

REVISIONS / SUBMISSIONS		
NO	DATE	DESCRIPTION

ISSUE

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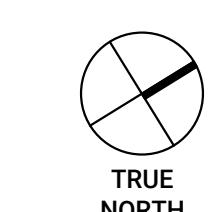
Sheet Information  
DRAWN BY: CM, MRW  
CHECKED BY: WV

SHEET TITLE

PLANTING PLAN

SHEET NUMBER

L301



SCALE | 1" = 8' - 0"

0' 4' 8' 16' 32'



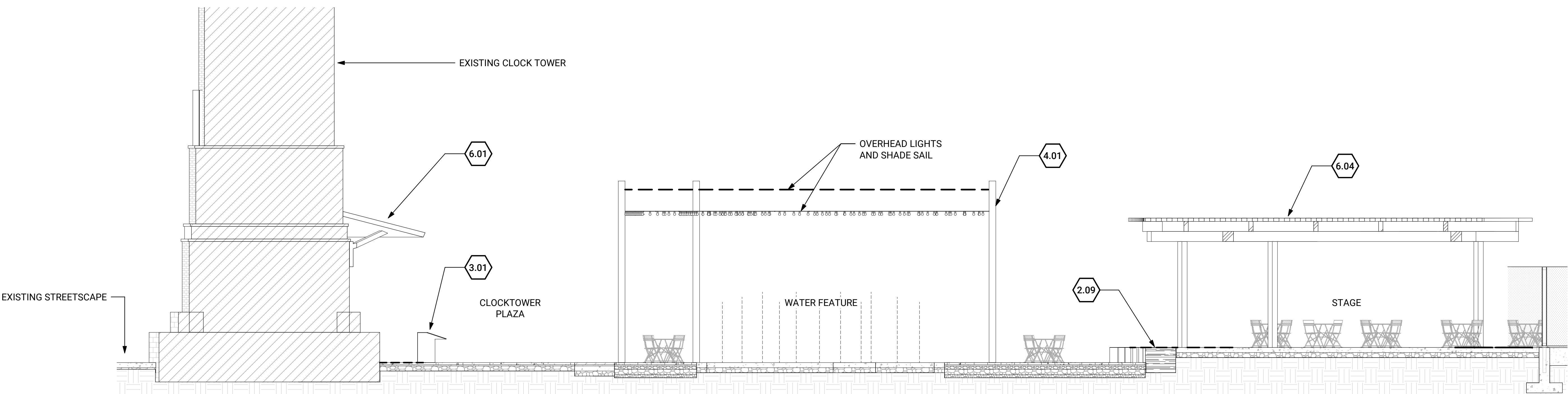
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KEY PLAN



# CLOCK TOWER PLAZA

232 MAIN STREET, COLORADO  
CAÑON CITY, COLORADO



## 1 SITE TRANSECT

3/16" = 1'-0"



Know what's below.  
Call before you dig.

## DETAIL KEYNOTE INDEX

KEYNOTE	DETAIL NAME	DTL. / SHT.
1.00 - PAVING & SURFACING		
1.01	CONCRETE PAVING	(1/ L501)
1.02	EXPANSION AND CONTROL JOINTS, TYP.	(2/ L501)
1.03	UNIT PAVING	(3/ L501)
1.04	STONE PAVING	(4/ L501)
1.05	PERMEABLE UNIT PAVING	(5/ L501)
2.00 - WALLS & STAIRS		
2.01	STACKED STONE PLANTER WALL	(1/ L502)
2.02	CIP TURNDOWN @ RAMP	(2/ L502)
2.03	CIP CURB WALL @ RAMP	(3/ L502)
2.04	BOULDER PLANTER WALL	(4/ L502)
2.05	CIP PLANTER WALL @ EX BLDG	(5/ L502)
2.06	CONCRETE RETAINING WALL	(1/ L503)
2.07	SCREEN WALL	(2/ L503)
2.08	STAGE STAIR	(3/ L503)
2.09	BOULDER STAGE WALL	(4/ L503)
3.00 - FURNISHINGS		
3.01	INTERPRETIVE PANEL	(1/ L507)
3.02	BIKE RACK	(2/ L507)
3.03	DIGITAL SIGN KIOSK	(3/ L507)
4.00 - LIGHTING		
4.01	CATENARY LIGHT POLE	(1/ L506)
5.00 - PLANTING		
5.01	TREE PLANTING, TYP.	(1/ L509)
5.02	SHRUB PLANTING, TYP.	(2/ L509)
5.03	UNDERSTORY PLANTING, TYP.	(3/ L509)
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5.06	SHRUB PLANTING - RAIN GARDEN	(3/ L510)
5.07	UNDERSTORY PLANTING - RAIN GARDEN	(4/ L510)
6.00 - STRUCTURES		
6.01	CLOCK TOWER AWNING	(6/ L506)
6.02	PRE-FABRICATED VENDER KIOSK	(1/ L508)
6.03	PRE-FABRICATED RESTROOM	(2/ L508)
6.04	SHADE STRUCTURE	(5/ L504)

REVISIONS / SUBMISSIONS		
NO	DATE	DESCRIPTION

ISSUE

50% PROGRESS SET

DATE: 08/31/2023



SHEET INFORMATION

DRAWN BY: CM, MRW  
CHECKED BY: WV

SHEET TITLE

SITE SECTIONS

SHEET NUMBER

L401



City of Canon City  
P.O. BOX 1460  
CANON CITY, CO 81215

KEY PLAN

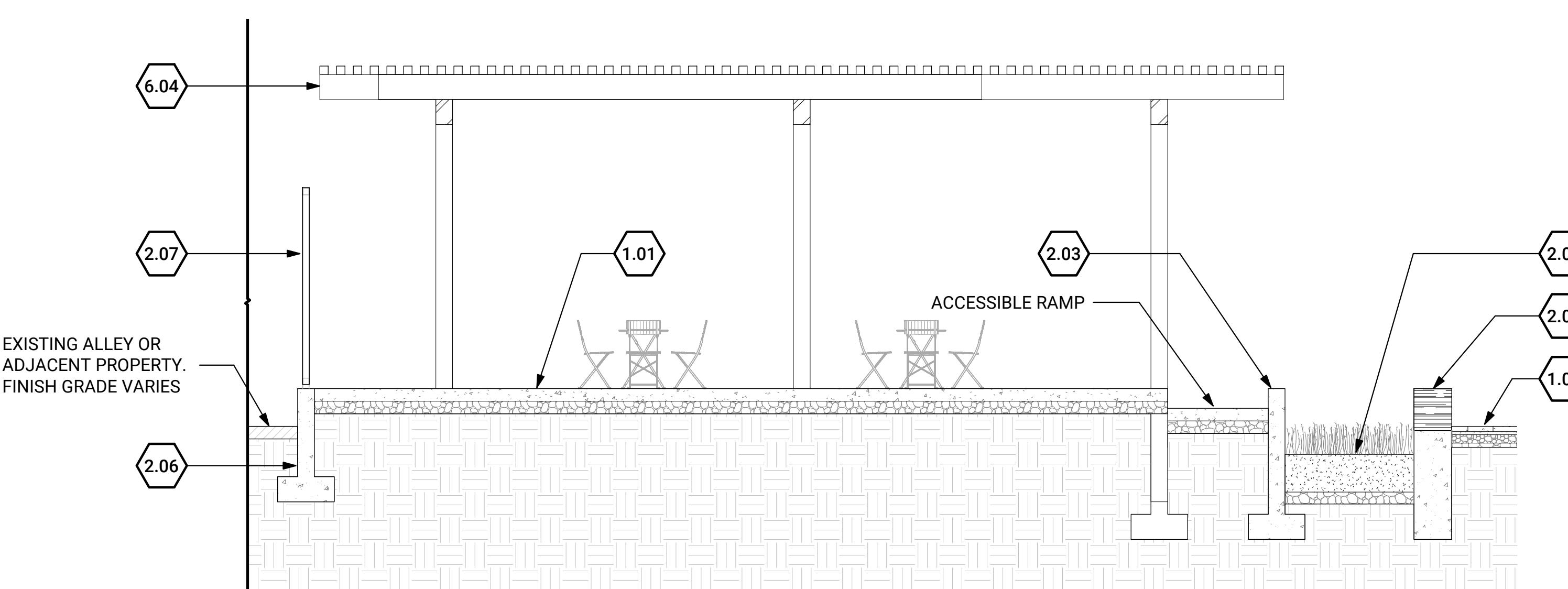


## CLOCK TOWER PLAZA

232 MAIN STREET, COLORADO

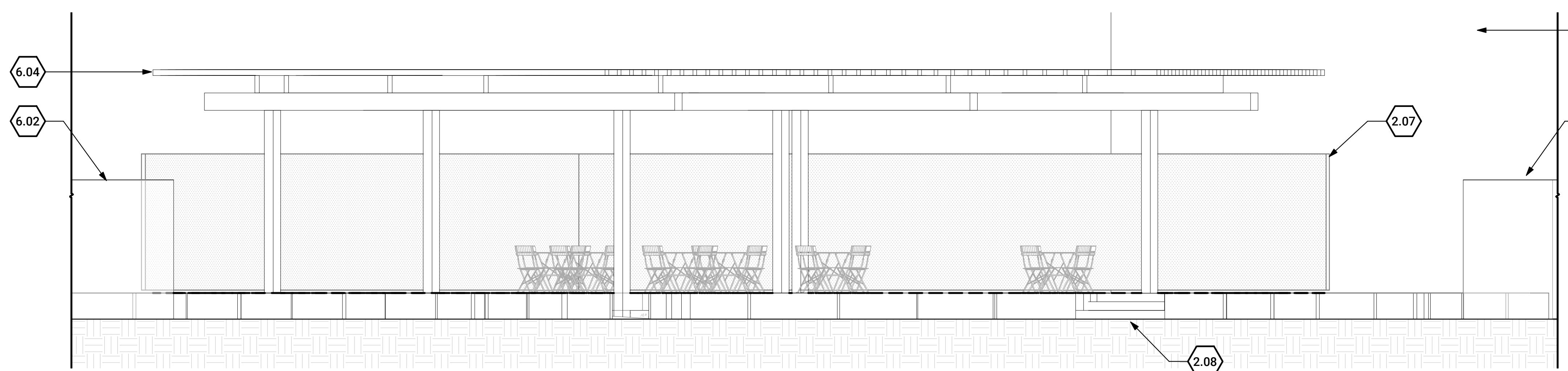
### DETAIL KEYNOTE INDEX

KEYNOTE	DETAIL NAME	DTL. / SHT.
1.00	PAVING & SURFACING	
1.01	CONCRETE PAVING	(1/ L501)
1.02	EXPANSION AND CONTROL JOINTS, TYP.	(2/ L501)
1.03	UNIT PAVING	(3/ L501)
1.04	STONE PAVING	(4/ L501)
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2.01	STACKED STONE PLANTER WALL	(1/ L502)
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2.05	CIP PLANTER WALL @ EX BLDG	(5/ L502)
2.06	CONCRETE RETAINING WALL	(1/ L503)
2.07	SCREEN WALL	(2/ L503)
2.08	STAGE STAIR	(3/ L503)
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6.03	PRE-FABRICATED RESTROOM	(2/ L508)
6.04	SHADE STRUCTURE	(5/ L504)



1 STAGE

1/4" = 1'-0"



2 STAGE ELEVATION

1/4" = 1'-0"



Know what's below.  
Call before you dig.

REVISIONS / SUBMISSIONS		
NO	DATE	DESCRIPTION

ISSUE

50% PROGRESS SET

DATE: 08/31/2023



SHEET INFORMATION		
DRAWN BY: CM, MRW		
CHECKED BY: WV		

SHEET TITLE

SITE SECTIONS

SHEET NUMBER

L402



City of Canon City  
P.O. BOX 1460  
CANON CITY, CO 81215

KEY PLAN



# CLOCK TOWER PLAZA

232 MAIN STREET  
CANON CITY, COLORADO

## DETAIL KEYNOTE INDEX

KEYNOTE	DETAIL NAME	DTL. / SHT.
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1.01	CONCRETE PAVING	(1/ L501)
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6.04	SHADE STRUCTURE	(5/ L504)

REVISIONS / SUBMISSIONS		
NO	DATE	DESCRIPTION

ISSUE

50% PROGRESS SET

DATE: 08/31/2023

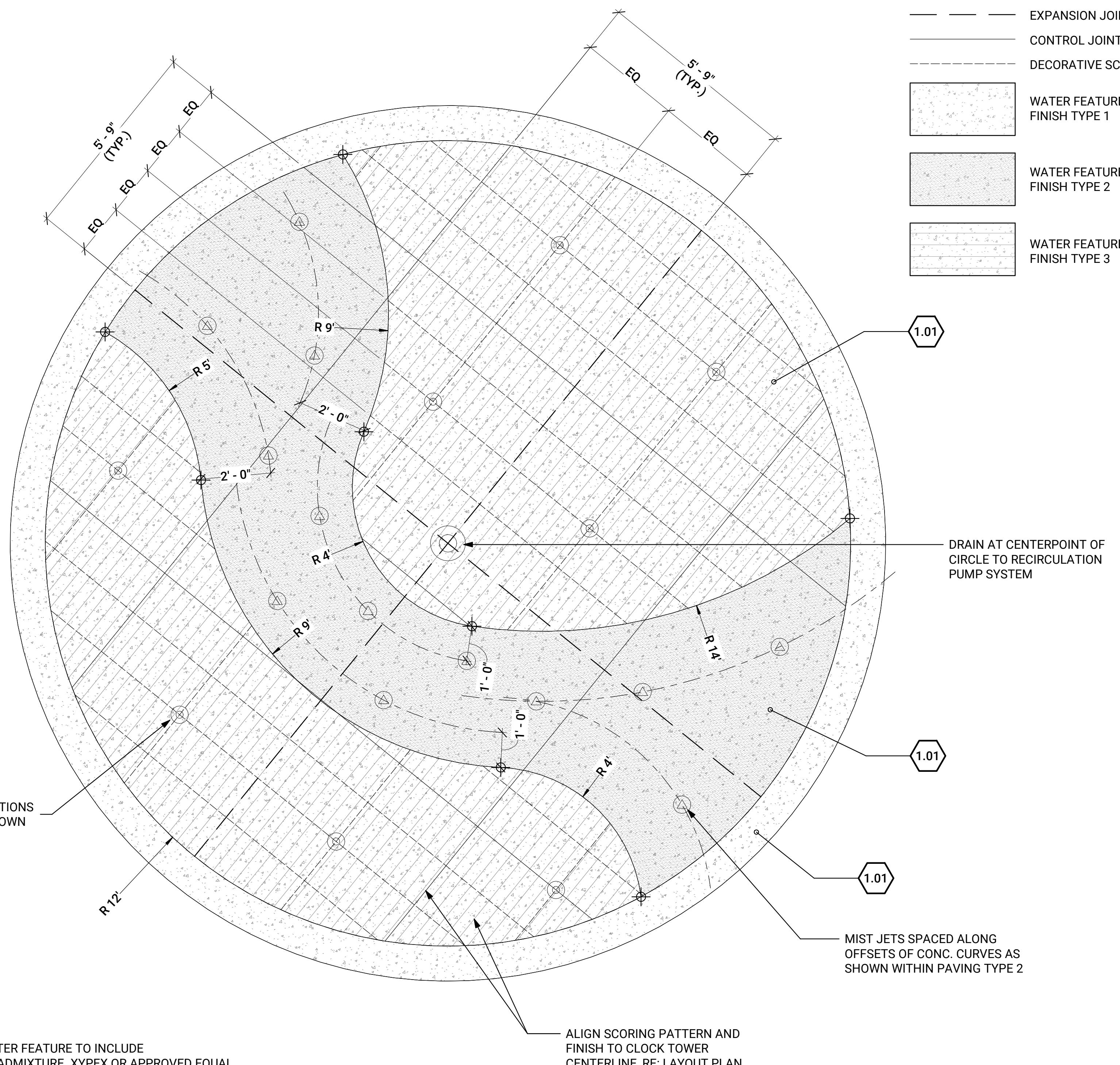


SHEET INFORMATION			
DRAWN BY:	CM, MRW	CHECKED BY:	WV

WATER FEATURE  
ENLARGEMENT PLAN

SHEET NUMBER

L403



NOTES:

1. CONCRETE AT WATER FEATURE TO INCLUDE WATERPROOFING ADMIXTURE. XYPEX OR APPROVED EQUAL.

1

## PLAN ENLARGEMENT - WATER FEATURE

1/2" = 1'-0"



City of Canon City  
P.O. BOX 1460  
CANON CITY, CO 81215



## CLOCK TOWER PLAZA

232 MAIN STREET, CANON CITY, COLORADO

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6.04	SHADE STRUCTURE	(5/ L504)

REVISIONS / SUBMISSIONS		
NO	DATE	DESCRIPTION

ISSUE

50% PROGRESS SET  
DATE: 08/31/2023

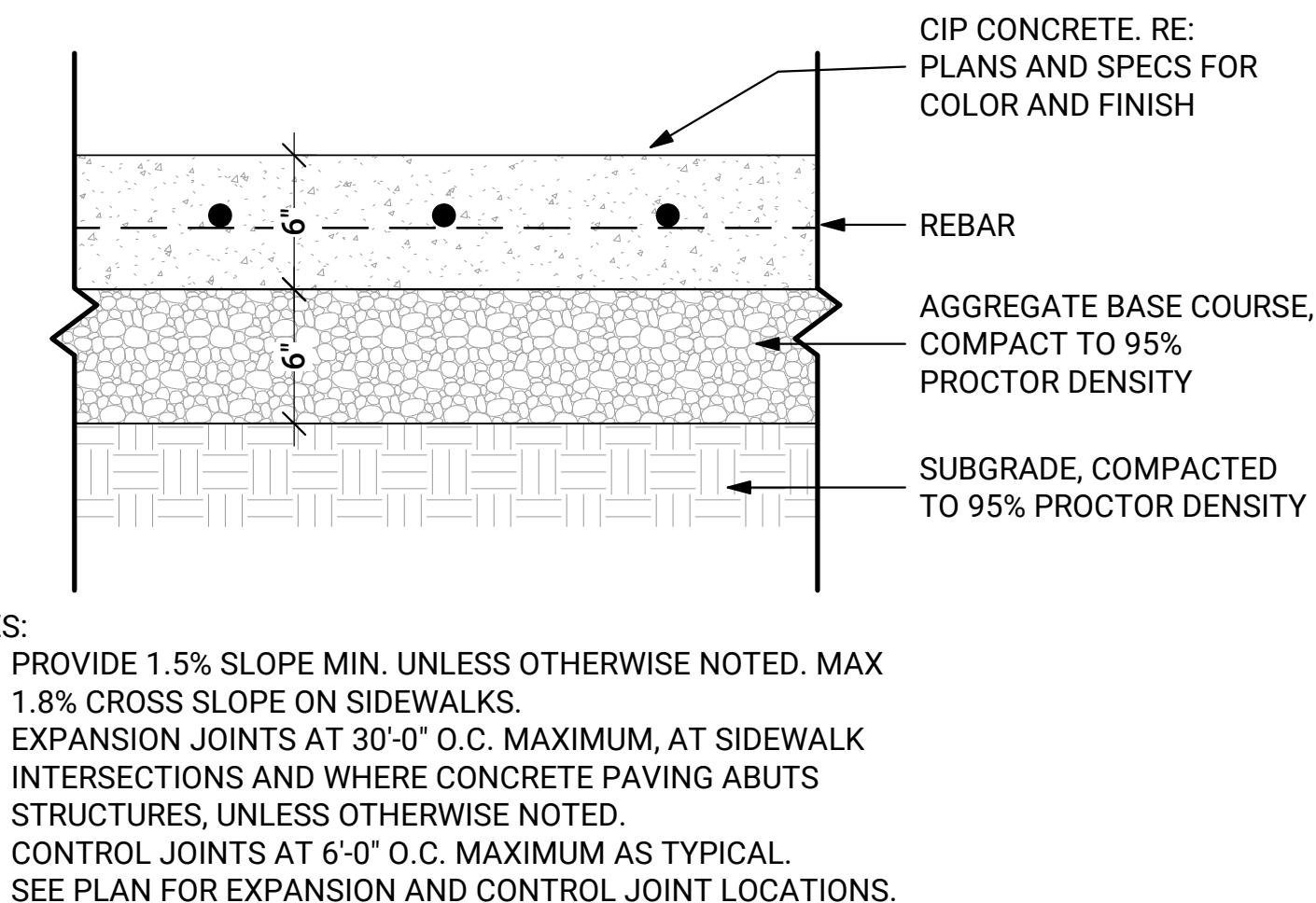
PROGRESS SET:  
NOT FOR  
CONSTRUCTION

SHEET INFORMATION  
DRAWN BY: CM, MRW  
CHECKED BY: WV

SHEET TITLE  
PAVING & SURFACING  
DETAILS

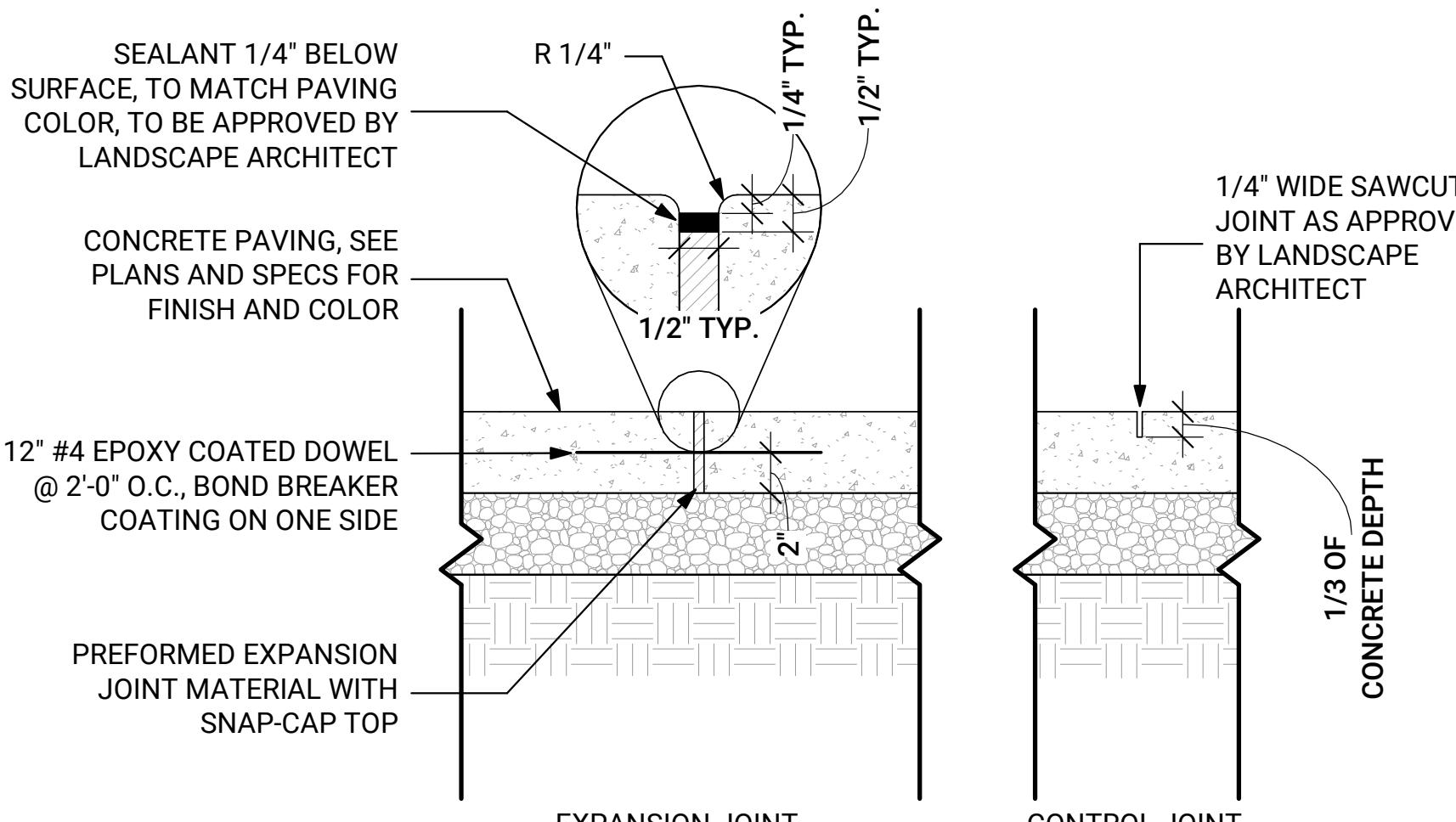
SHEET NUMBER

L501



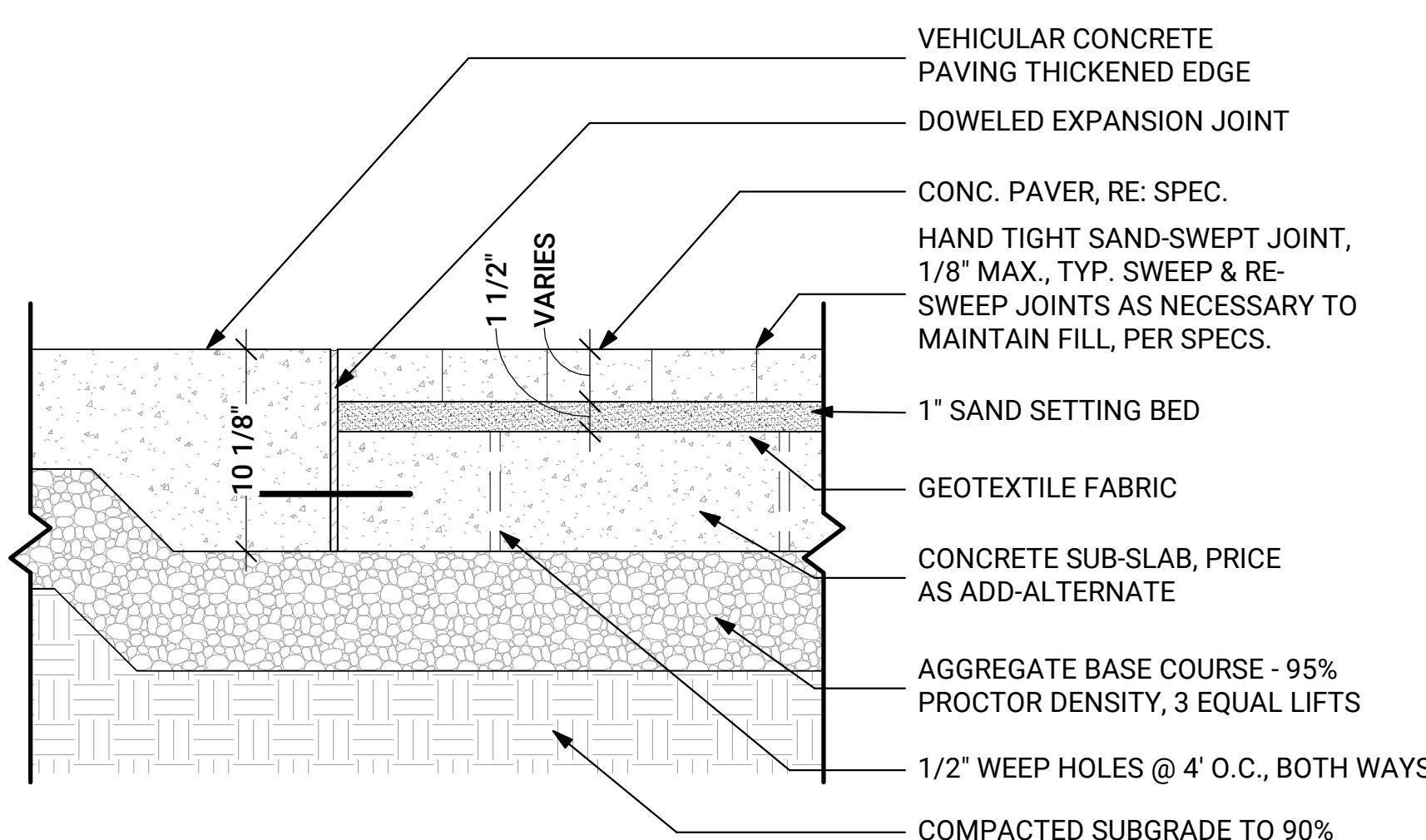
### 1 CONCRETE PAVING

1 1/2" = 1'-0"



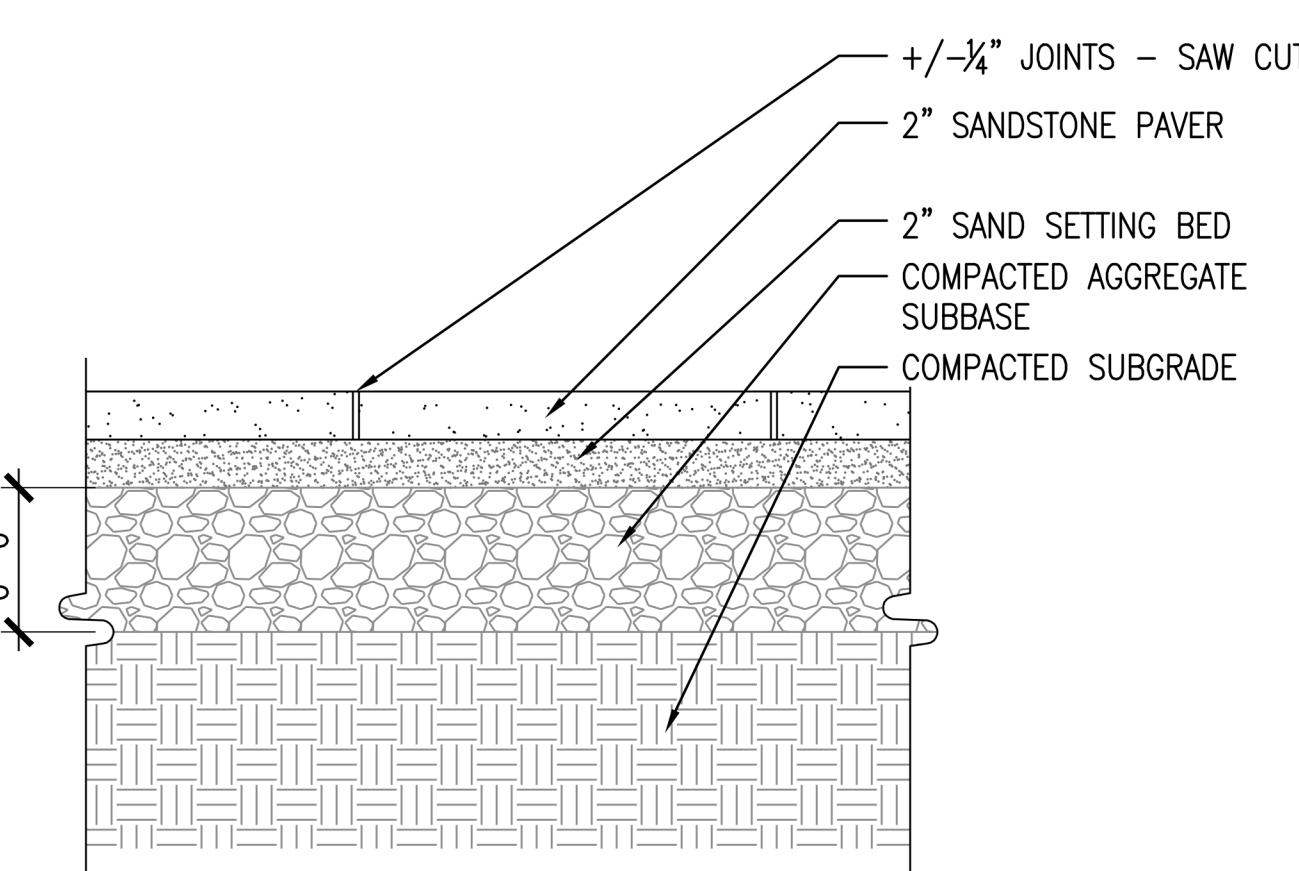
### 2 EXPANSION AND CONTROL JOINTS, TYP.

1 1/2" = 1'-0"



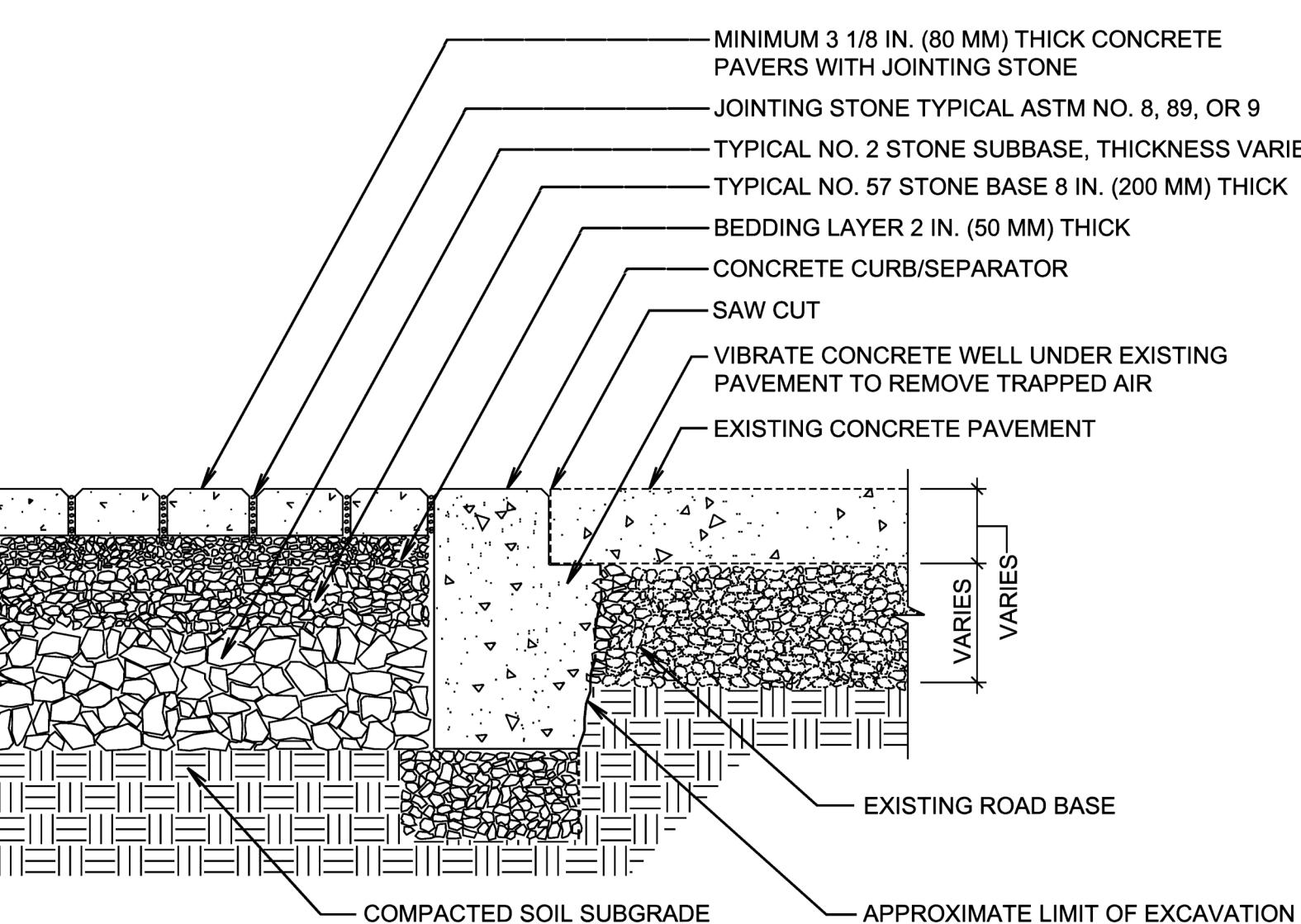
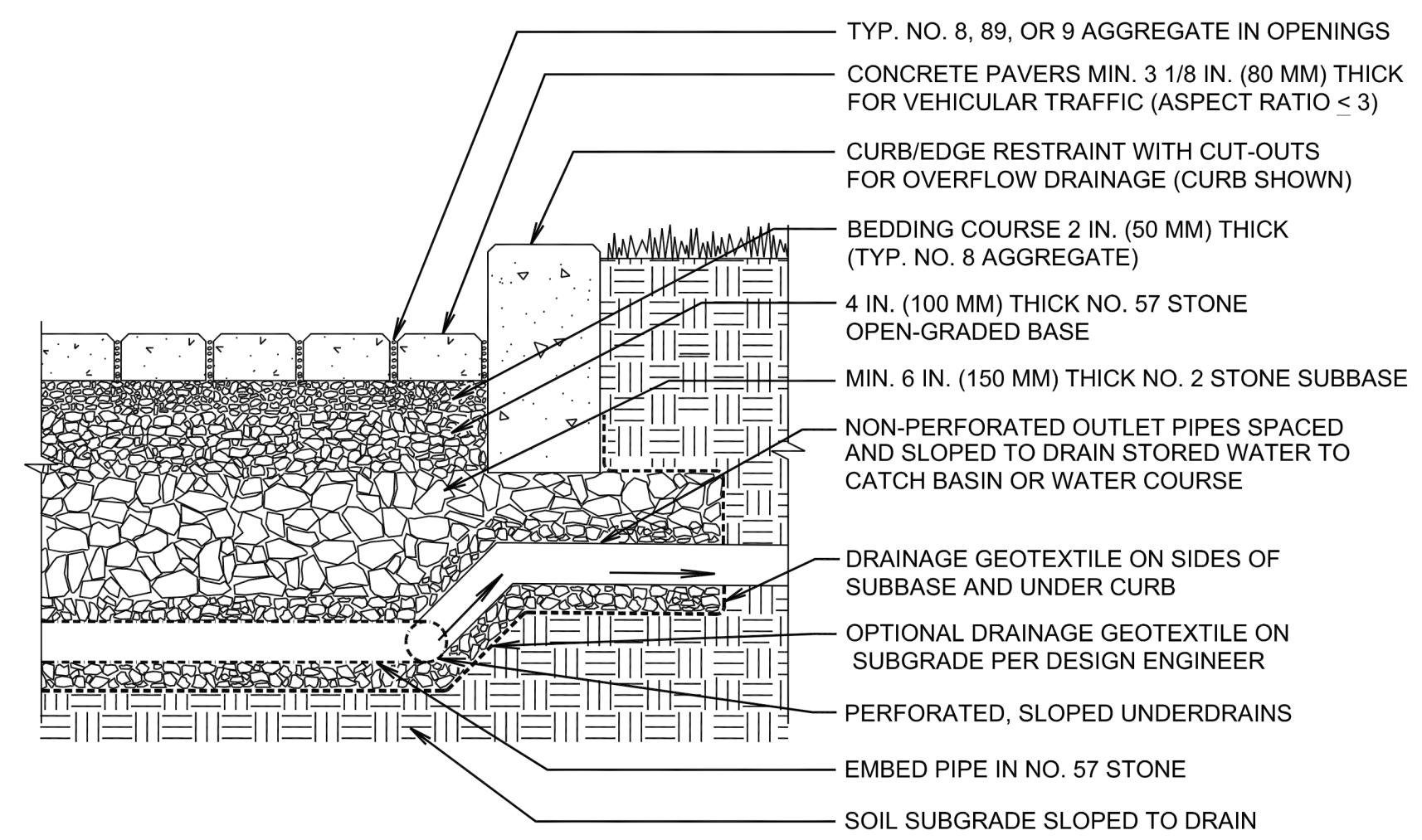
### 3 UNIT PAVING

1 1/2" = 1'-0"



### 4 STONE PAVING

1 1/2" = 1'-0"



### 5 PERMEABLE UNIT PAVING

1 1/2" = 1'-0"

### 6 PERMEABLE PAVEMENT TRANSITION TO CONCRETE

1 1/2" = 1'-0"

### 7 PERMEABLE PAVEMENT EDGE RESTRAINT

1 1/2" = 1'-0"





City of Canon City  
P.O. BOX 1460  
CANON CITY, CO 81215

KEY PLAN

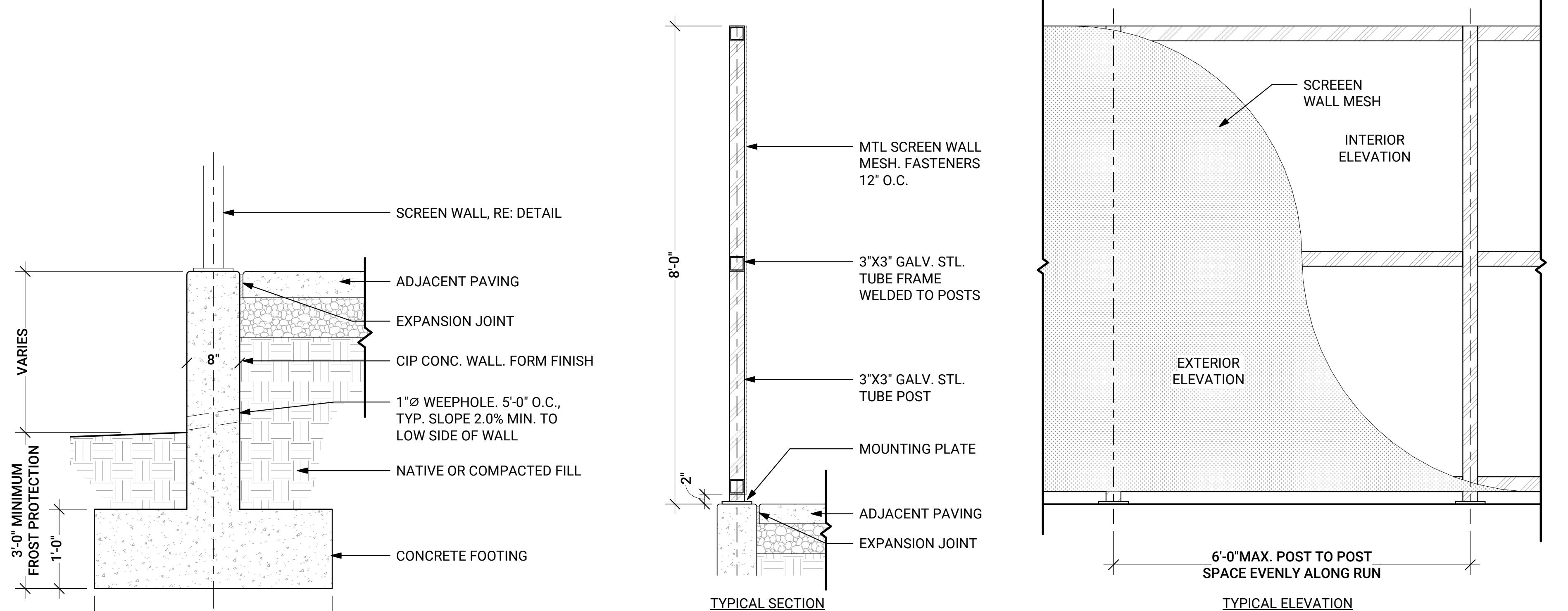


## CLOCK TOWER PLAZA

232 MAIN STREET, COLORADO

### DETAIL KEYNOTE INDEX

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1.00 - PAVING & SURFACING		
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6.03	PRE-FABRICATED RESTROOM	(2/ L508)
6.04	SHADE STRUCTURE	(5/ L504)

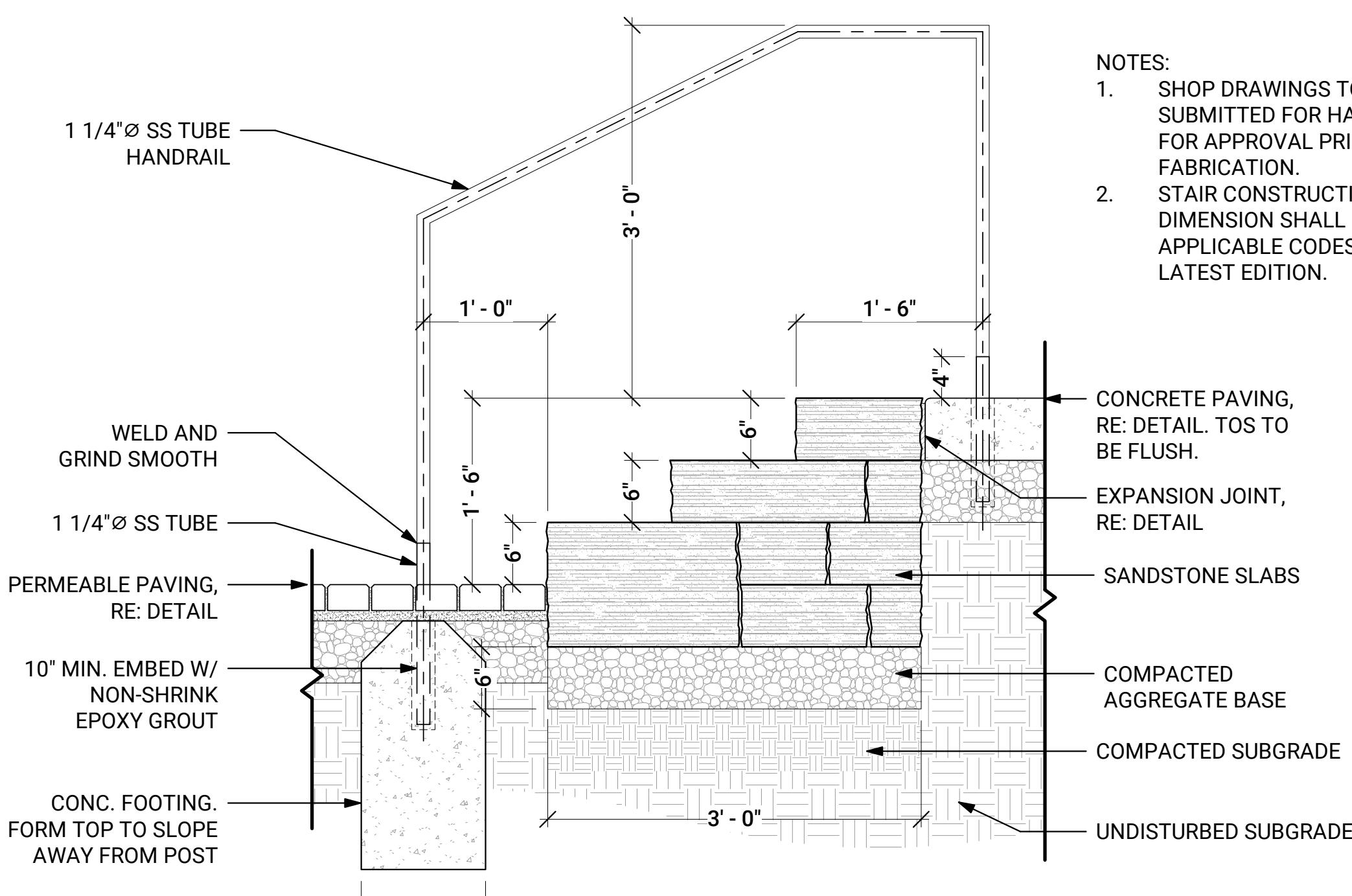


1 CONCRETE RETAINING WALL

1" = 1'-0"

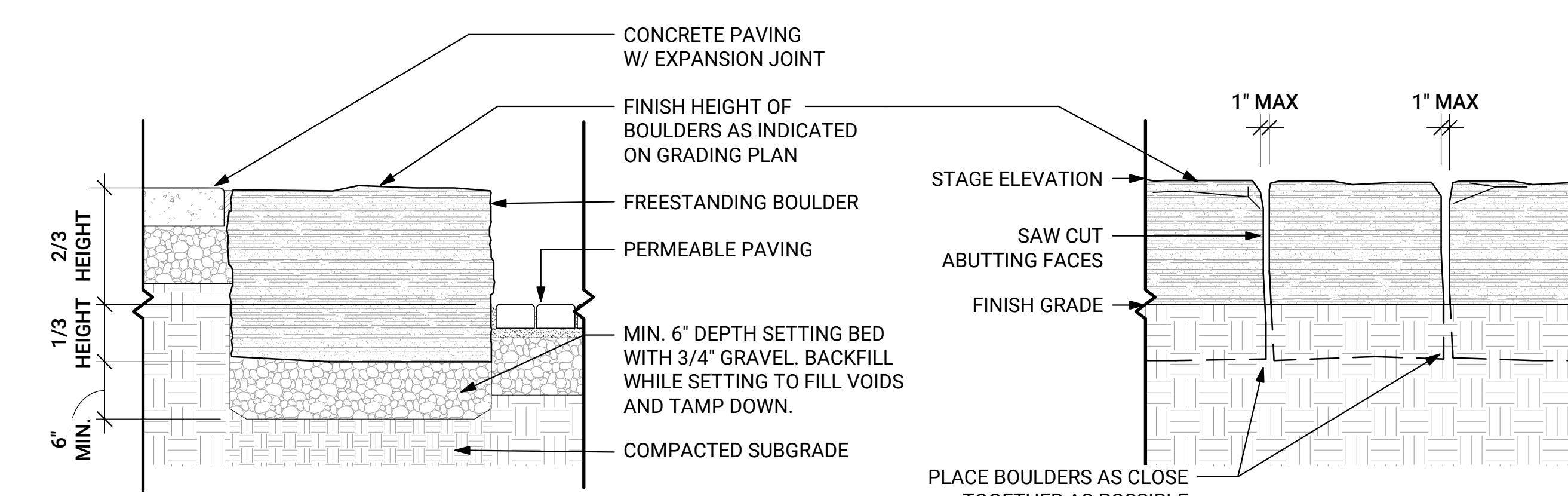
2 SCREEN WALL

3/4" = 1'-0"



3 STAGE STAIR

1" = 1'-0"



NOTES:  
1. PLACE BOULDERS TO CONFIGURATIONS AND LOCATION AS SHOWN ON PLANS  
2. CONTRACTOR TO STAKE LOCATIONS W/ WOODEN STAKE (W/SIZE NOTED).  
STAKED LOCATIONS SHALL BE APPROVED PRIOR TO INSTALLATION BY  
LANDSCAPE ARCHITECT OR OWNER.  
3. DO NOT FRACTURE BOULDER DURING PLACEMENT, SUCH ACTION SHALL BE  
CAUSE FOR REJECTION  
4. WASH OFF BOULDERS COMPLETELY AFTER PLACEMENT

4 BOULDER STAGE WALL

1" = 1'-0"

REVISIONS / SUBMISSIONS  
NO DATE DESCRIPTION

ISSUE  
50% PROGRESS SET

DATE: 08/31/2023

PROGRESS SET:  
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CONSTRUCTION

Sheet Information  
DRAWN BY: CM, MRW  
CHECKED BY: WV

SHEET TITLE  
WALL & STAIR DETAILS

SHEET NUMBER  
L503



afayette Street #135  
nver, CO 80205  
303.800.2201  
ablecitiesstudio.com

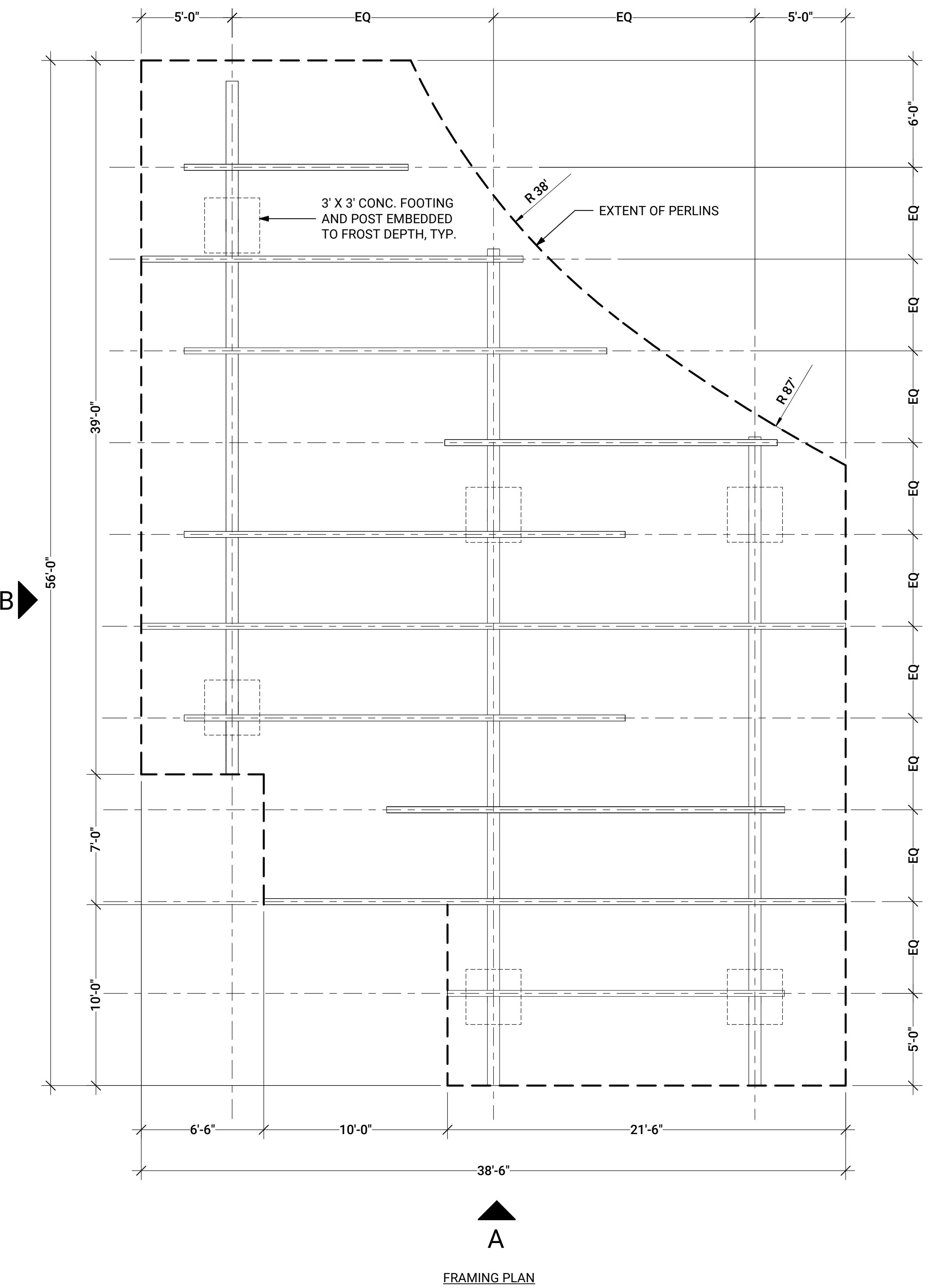


City of Cañon City  
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CAÑON CITY, CO 81215



# CLOCK TOWER PLAZA

232 MAIN STREET  
CAÑON CITY, COLORADO

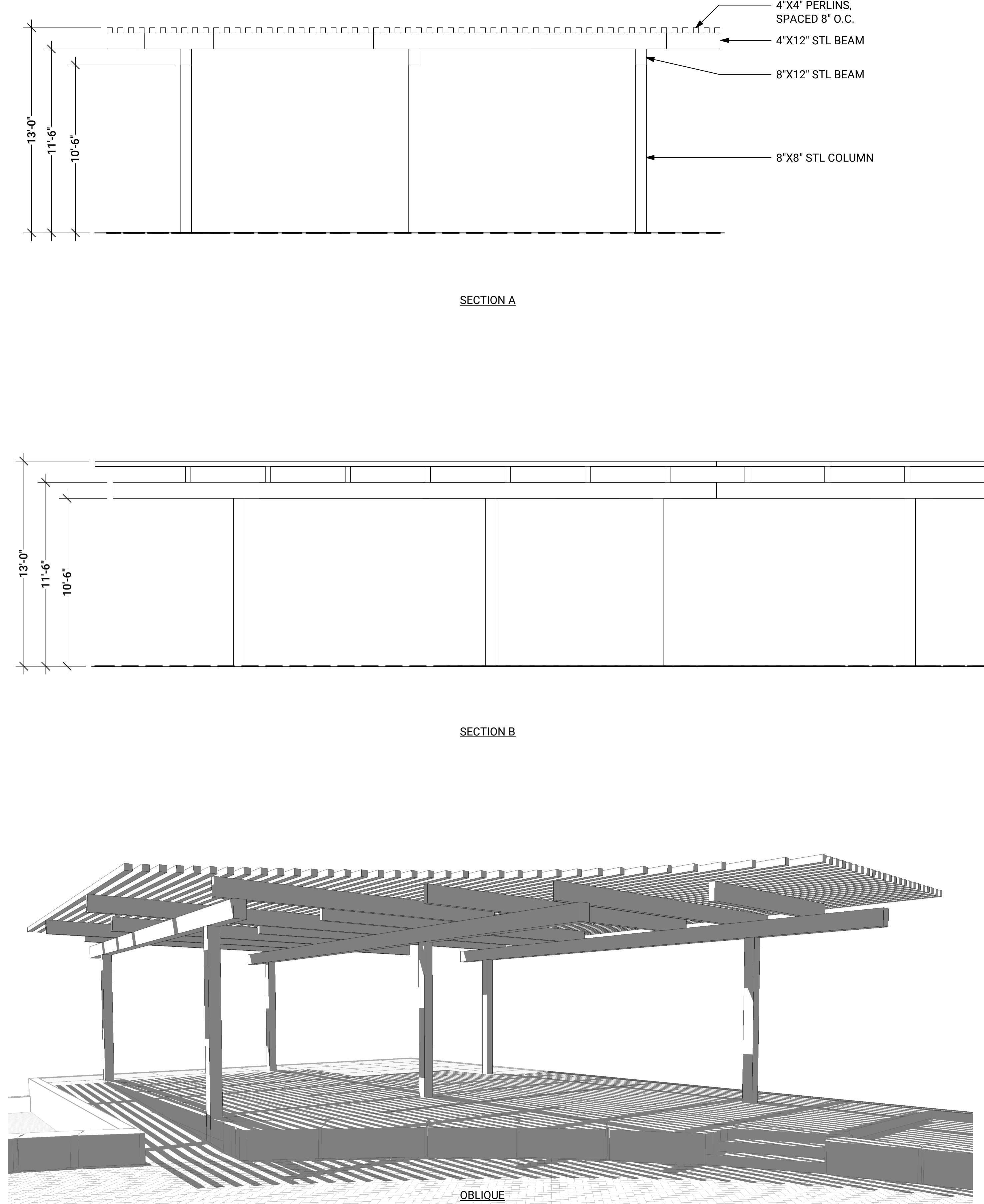


# 5 SHADE STRUCTURE

12" = 1'-0"



**Know what's below.  
Call before you dig.**



OBLI

## ISSUE

DATE: 08/31/2023

Figure 1. The two curves of the two sides of the same leaf.

**WORKSHEET INFORMATION**

## SHADE STRUCTURE DETAILS

1 SHEET NUMBER

**L504**

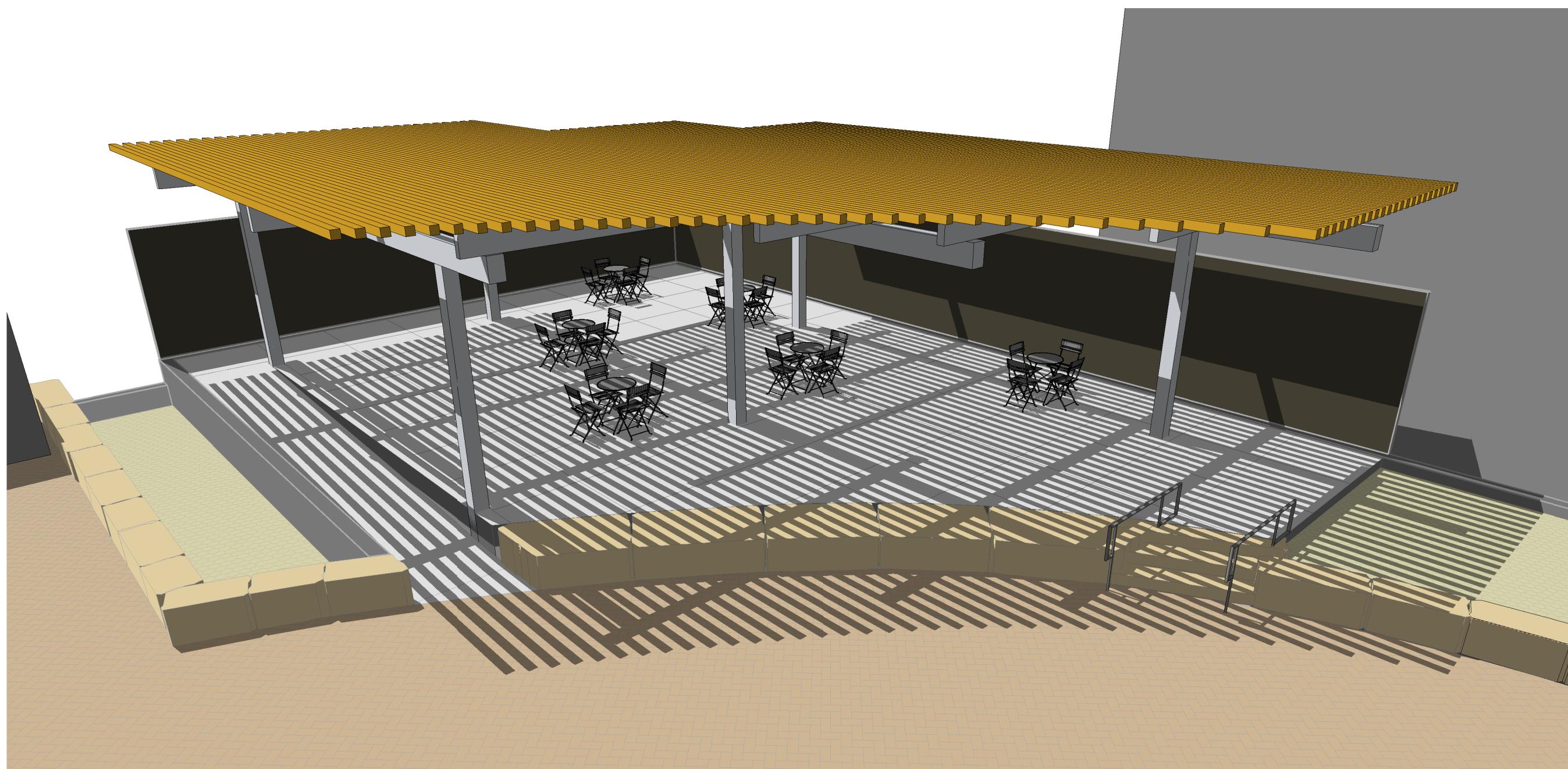


City of Canon City  
P.O. BOX 1460  
CANON CITY, CO 81215



## CLOCK TOWER PLAZA

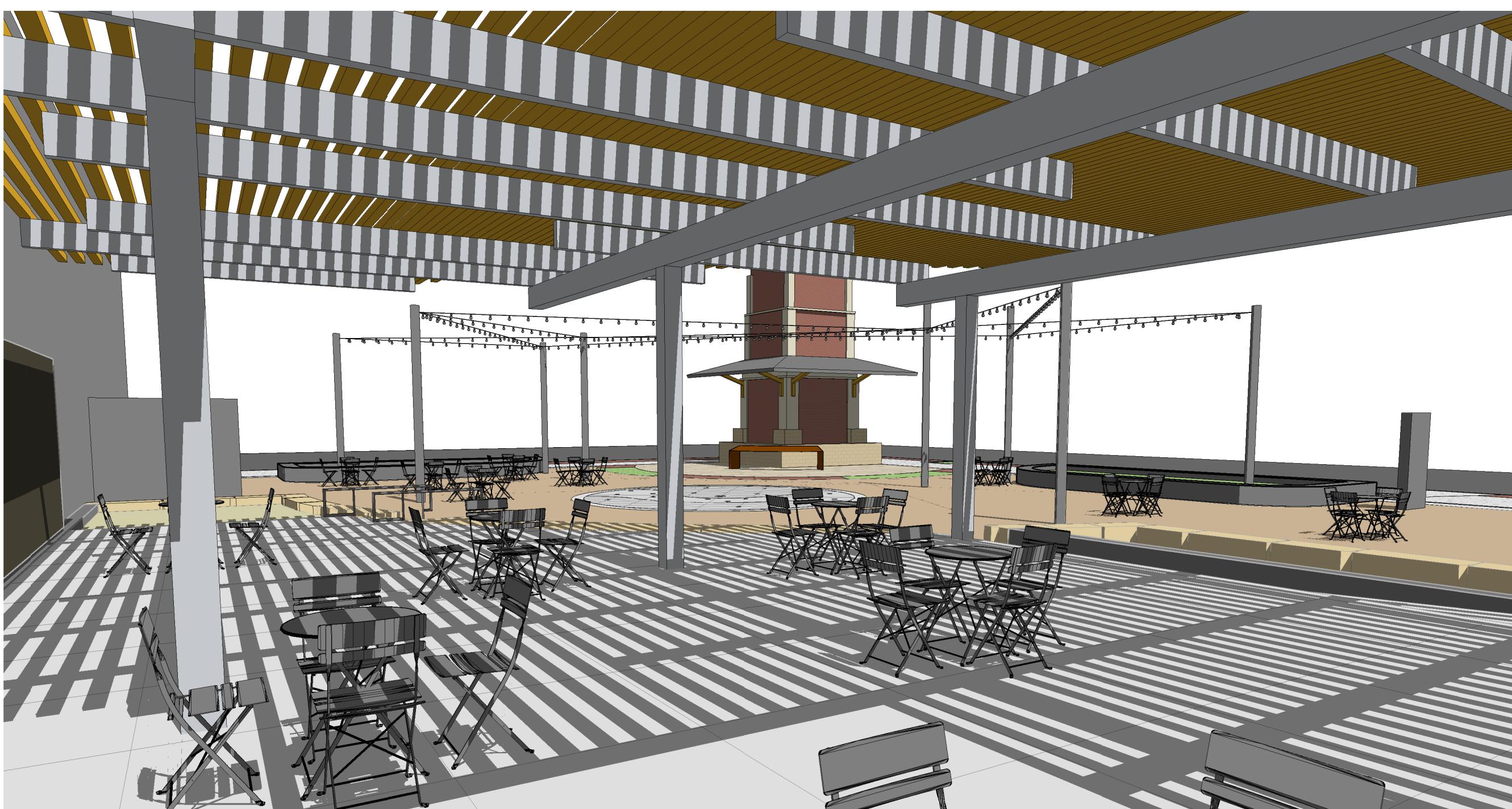
232 MAIN STREET  
CANON CITY, COLORADO



1 SHADE STRUCTURE - OBLIQUE 2



3 SHADE STRUCTURE - OBLIQUE 4



2 SHADE STRUCTURE - OBLIQUE 3



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NO	DATE	DESCRIPTION

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50% PROGRESS SET

DATE: 08/31/2023



SHEET INFORMATION		
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SHEET TITLE

SHADE STRUCTURE  
DETAILS

SHEET NUMBER

L505



City of Canon City  
P.O. BOX 1460  
CANON CITY, CO 81215

KEY PLAN

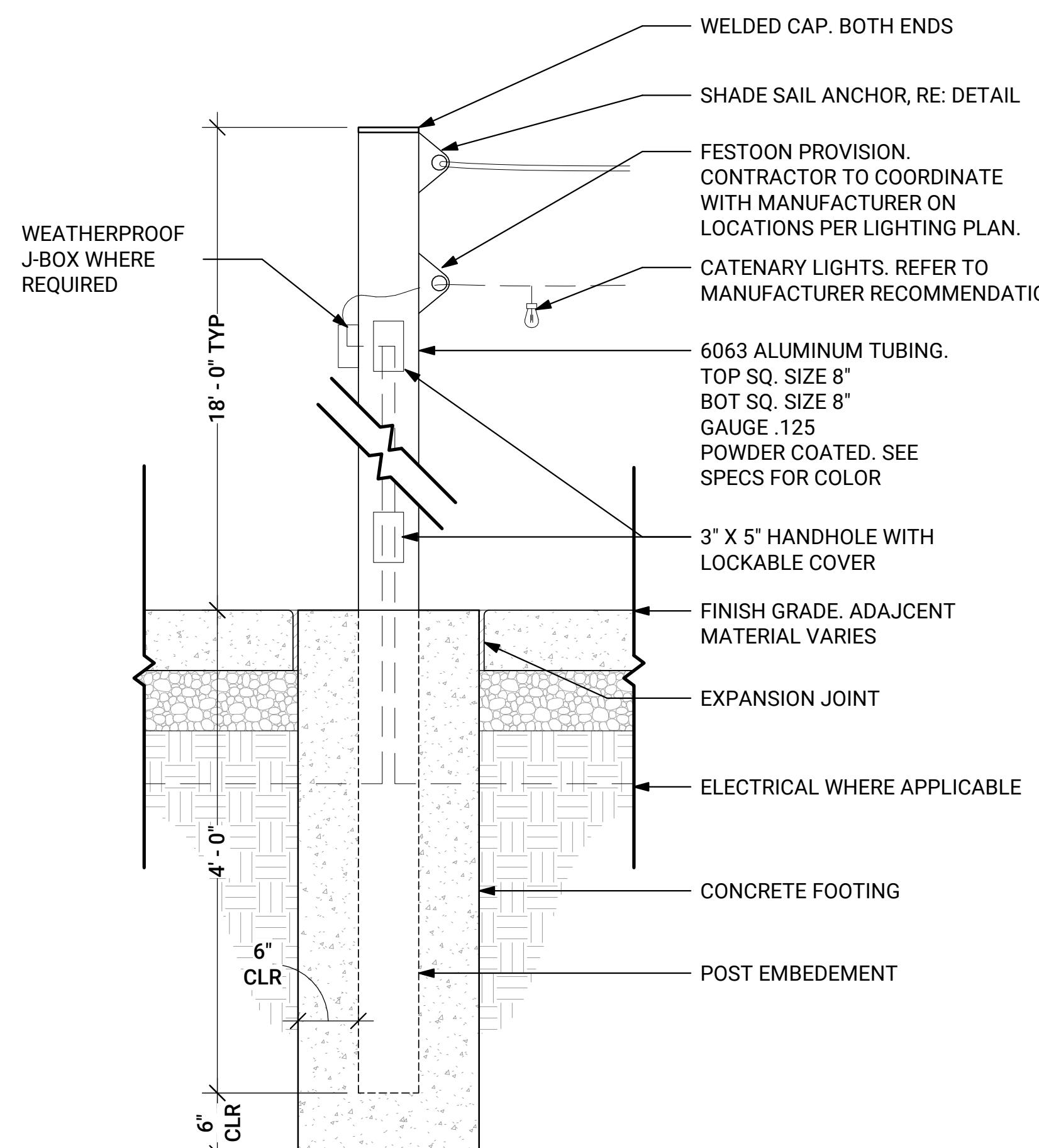


## CLOCK TOWER PLAZA

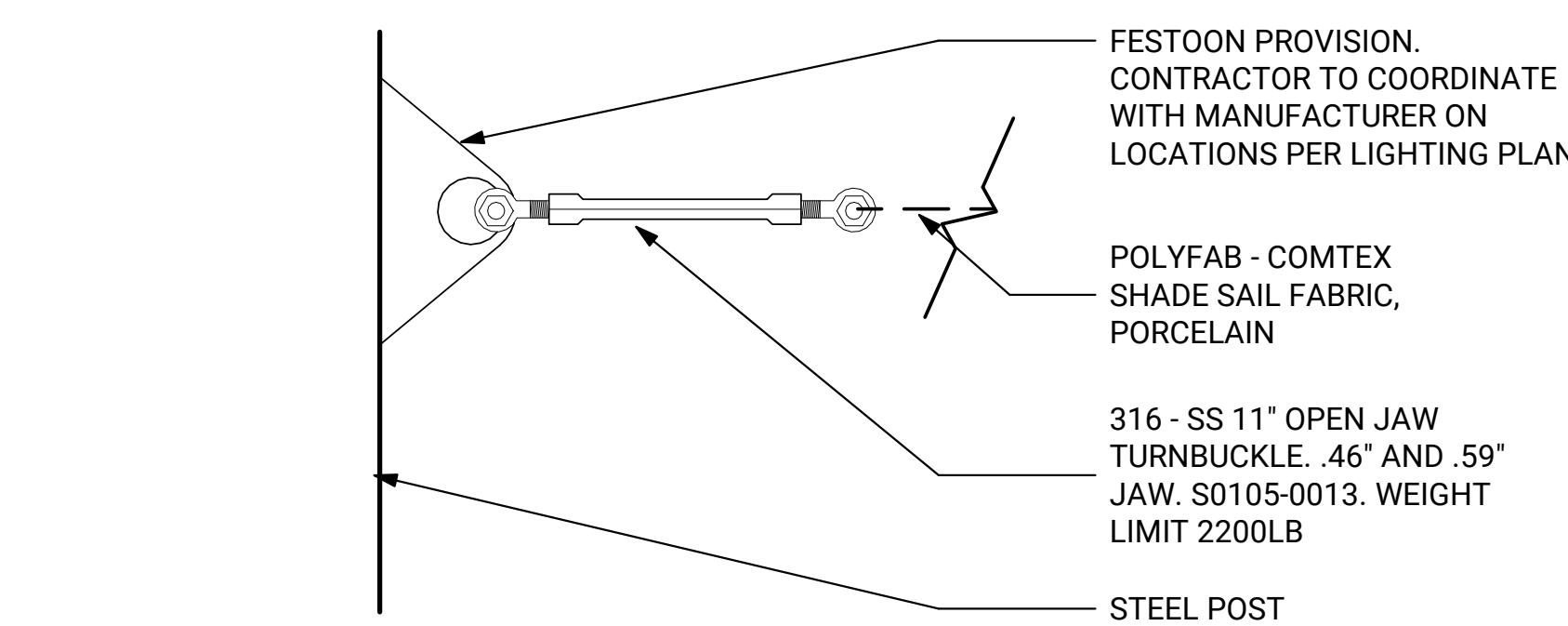
232 MAIN STREET  
CANON CITY, COLORADO

### DETAIL KEYNOTE INDEX

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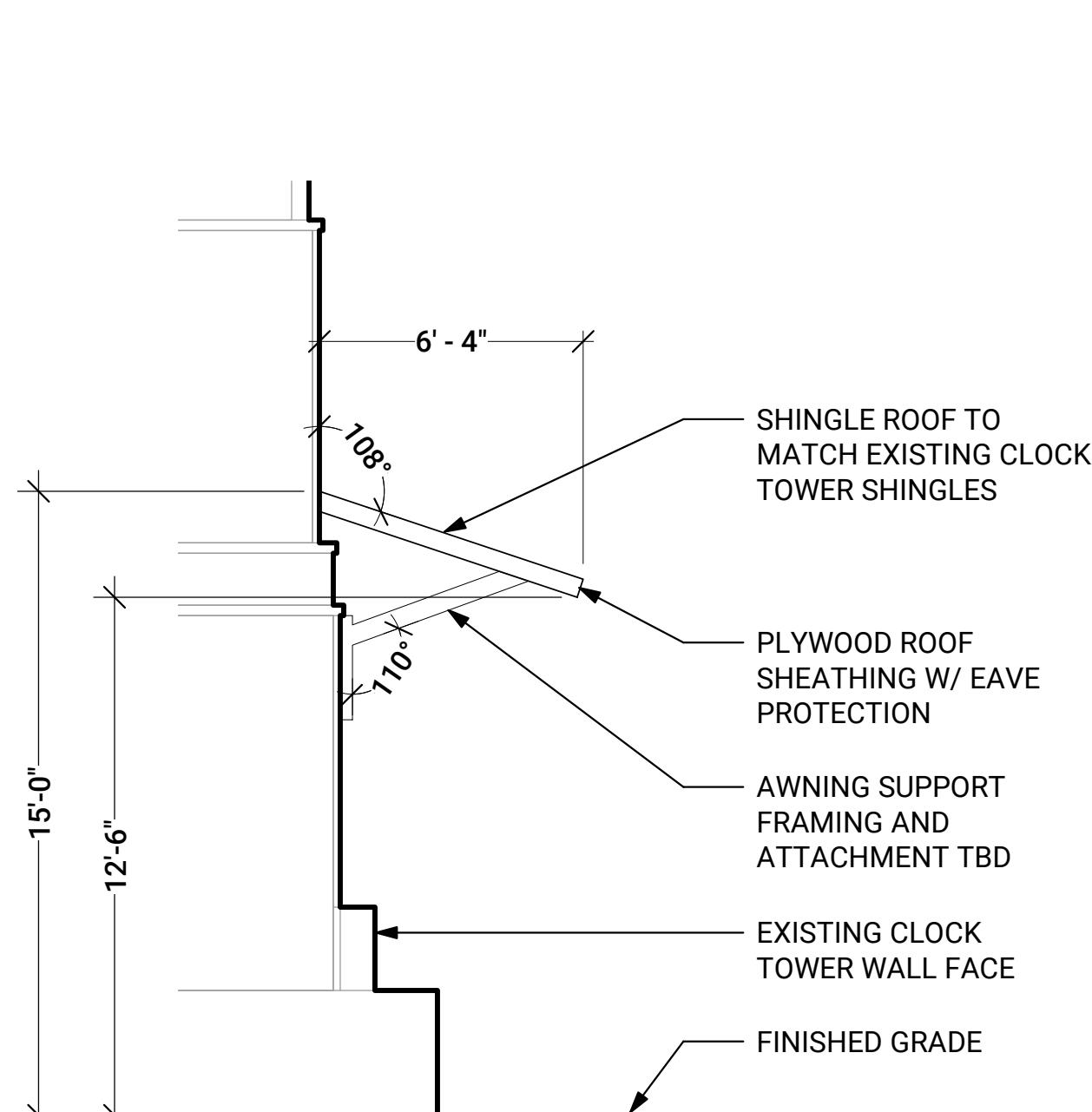
1 Catenary Light Pole  
1" = 1'-0"



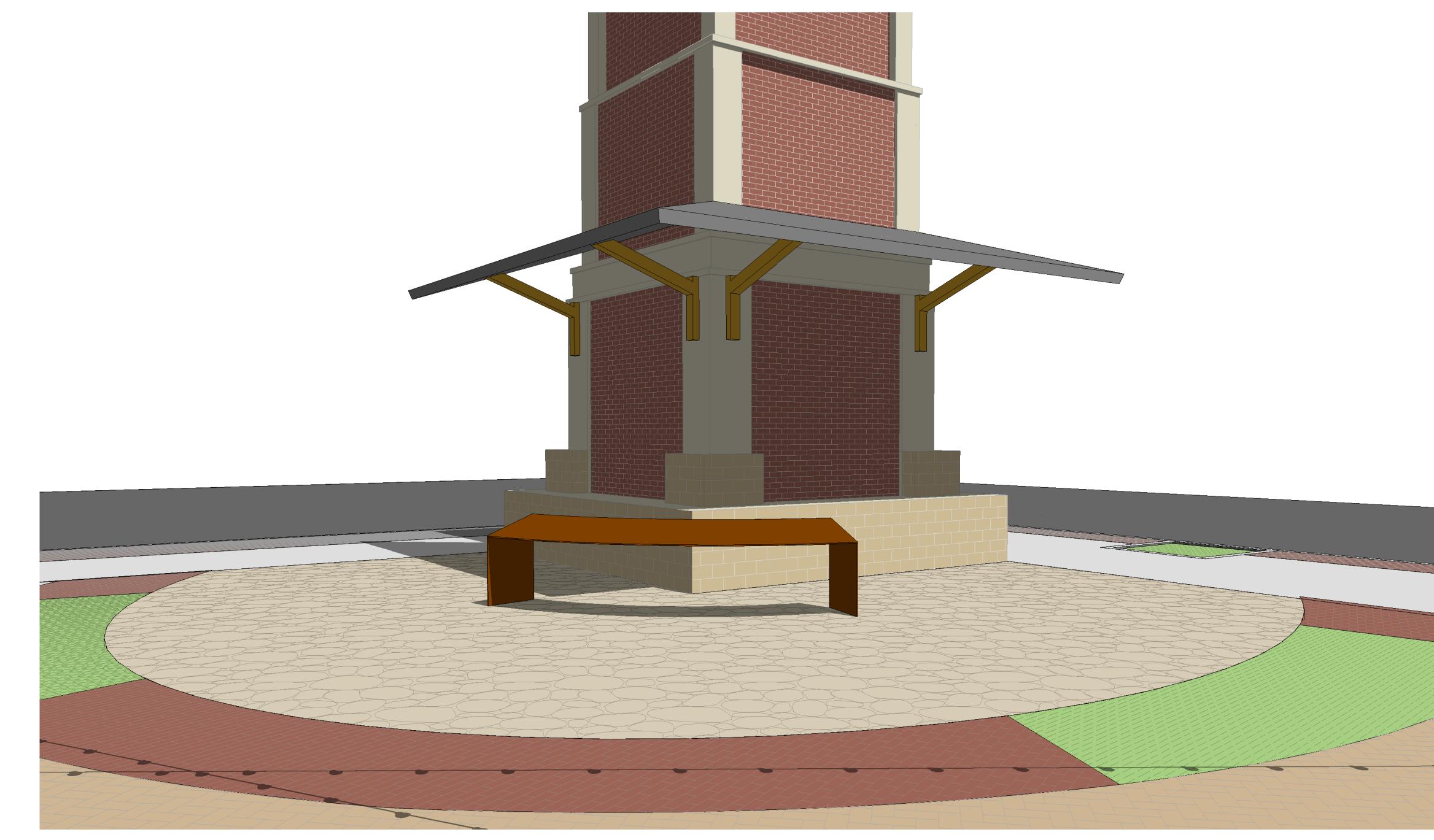
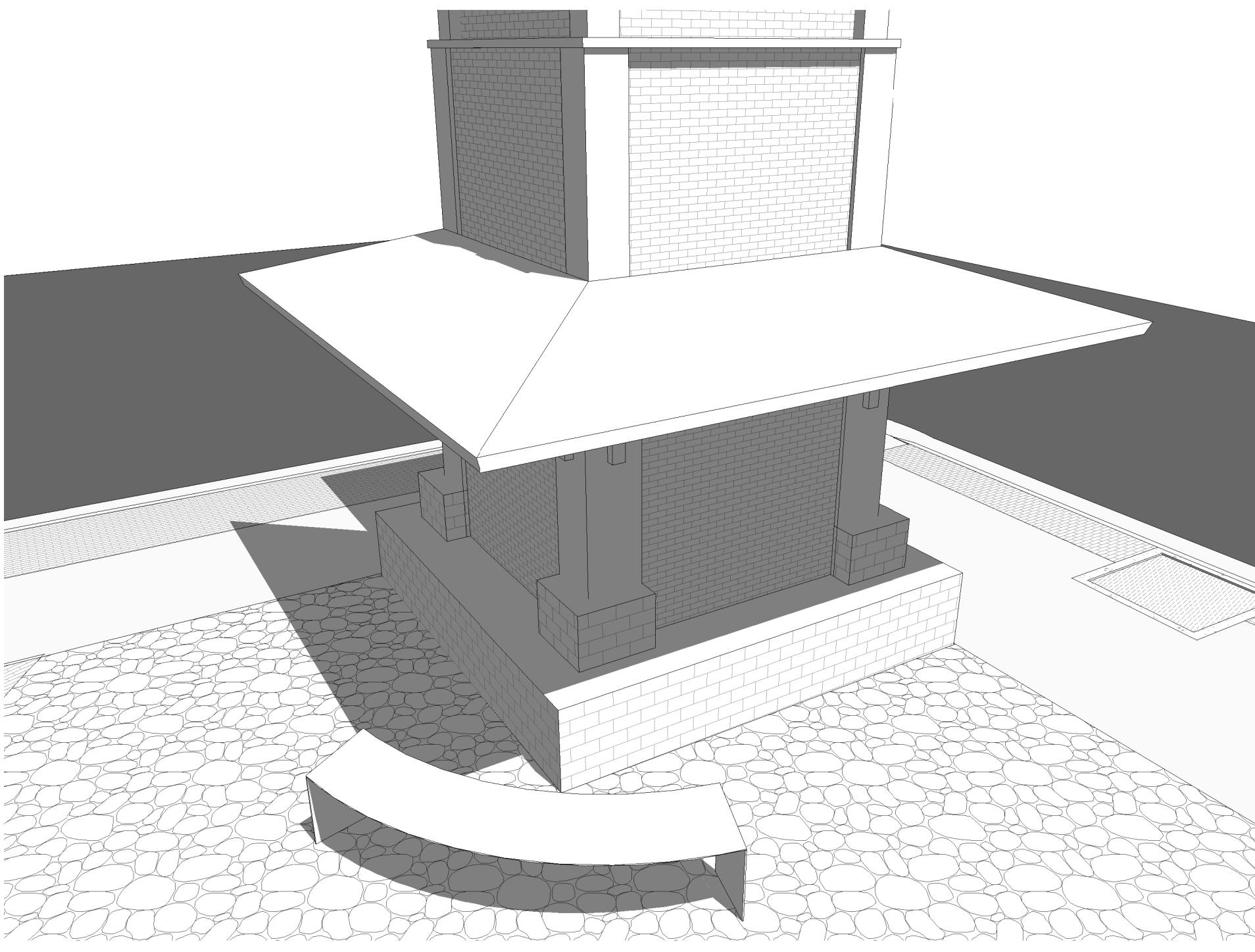
NOTES:

1. INSTALL PER MANUFACTURER'S INSTRUCTIONS
2. USE 7X9 3/8" GALV CABLE
3. COMTEX MEETS NFPA 701 - 2010 AND ASTM E-84 (CLASS 1 OR A RATING)
4. COORDINATE ATTACHMENT AND ANCHORING POINTS WITH ARCHITECTURE AND STRUCTURAL
5. CONTRACTOR TO VERIFY CABLE, TURNBUCKLE AND ANY OTHER ATTACHMENT MECHANISM WITH SHADE FABRIC MANUFACTURER/INSTALLER
6. POLYFAB COMTEX FABRIC COLOR: RUST

2 Shade Sail Anchor  
3" = 1'-0"



6 Clock Tower Awning  
1/4" = 1'-0"



Know what's below.  
Call before you dig.

PROGRESS SET:  
NOT FOR  
CONSTRUCTION

DRAWN BY: CM, MRW  
CHECKED BY: WV

SHEET TITLE

AWNING & LIGHTING  
DETAILS

SHEET NUMBER

L506



City of Canon City  
P.O. BOX 1460  
CAÑON CITY, CO 81215

KEY PLAN

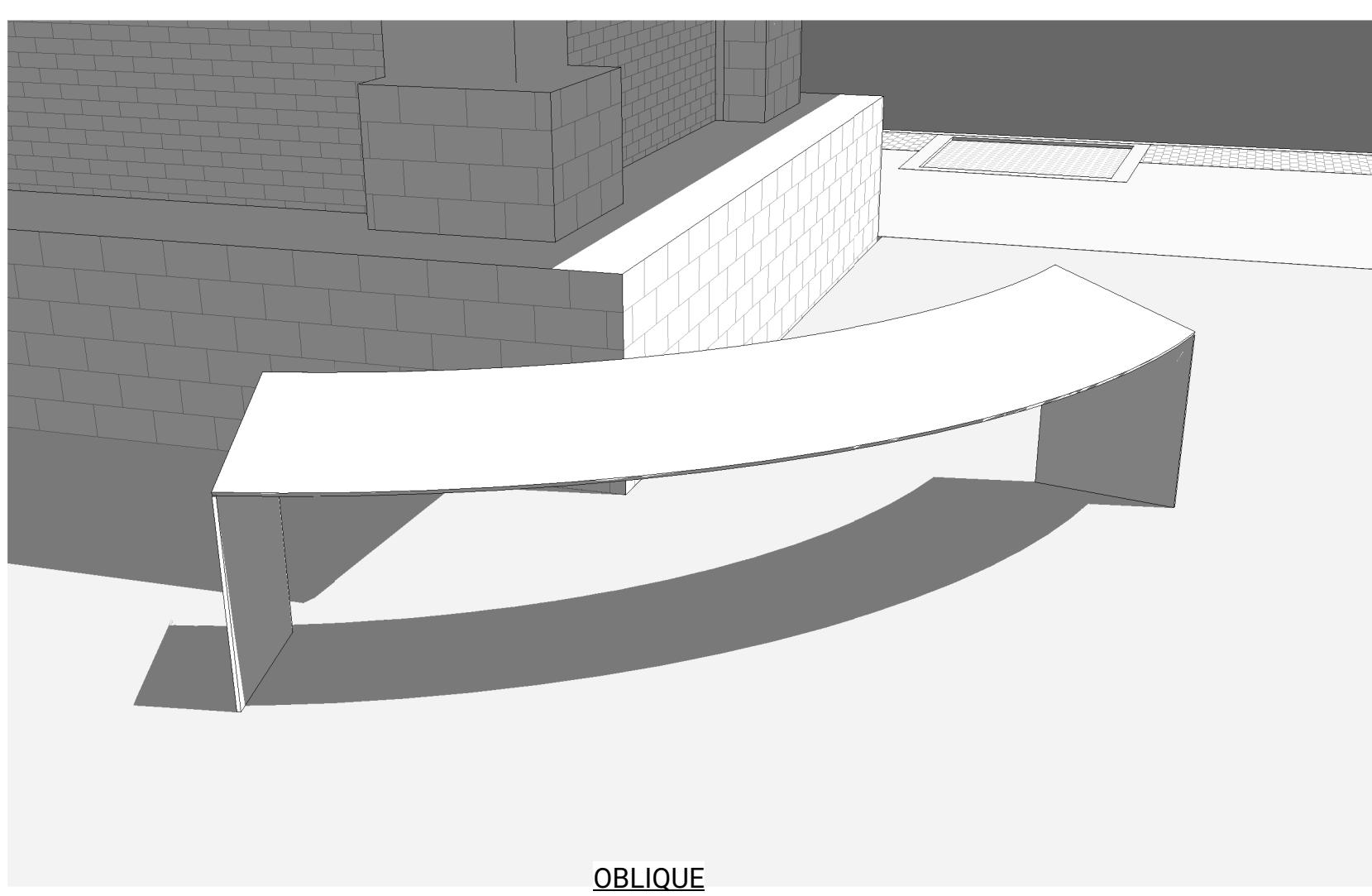
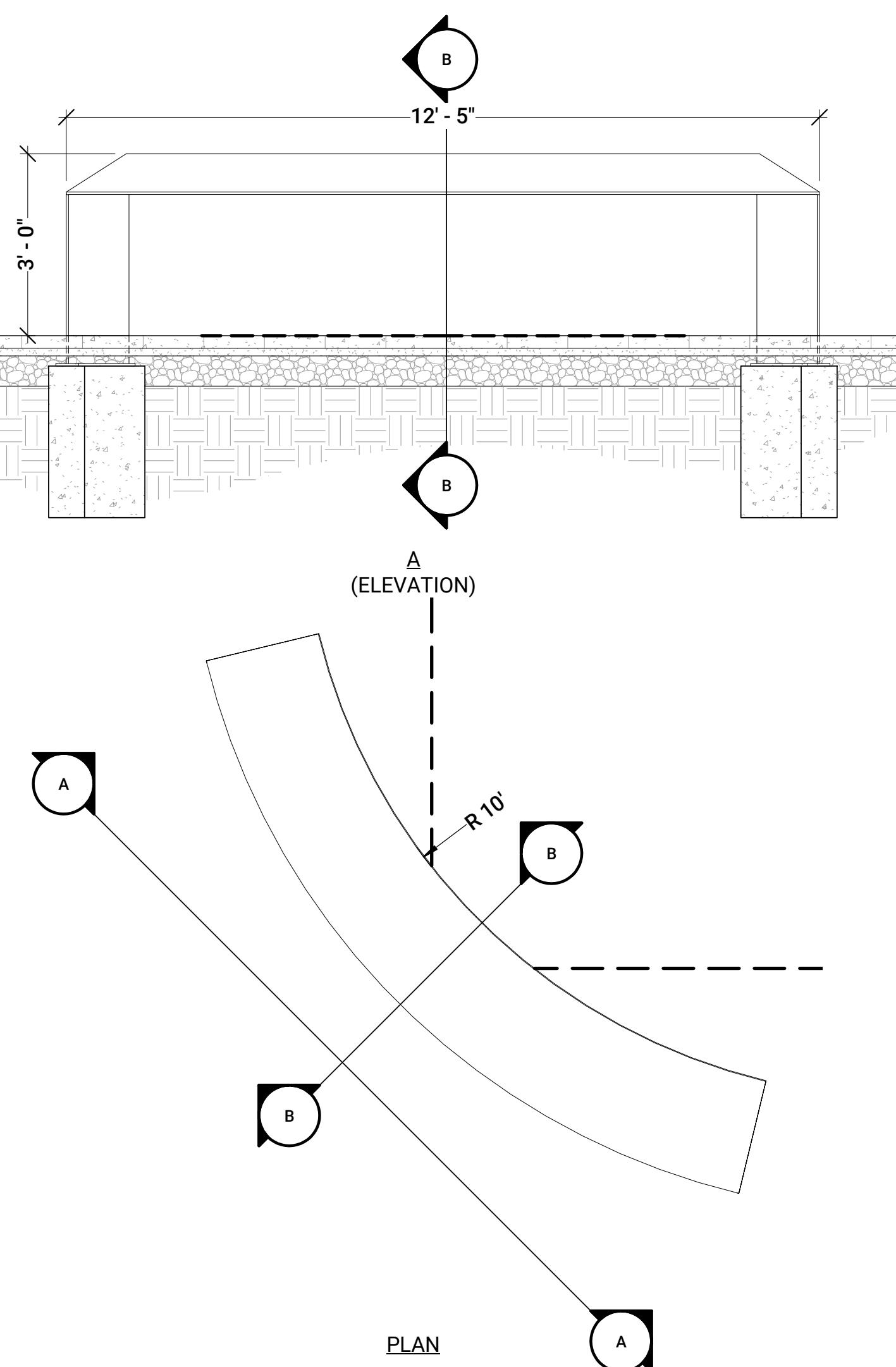


## CLOCK TOWER PLAZA

232 MAIN STREET, CANON CITY, COLORADO

### DETAIL KEYNOTE INDEX

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2.01	STACKED STONE PLANTER WALL	(1/ L502)
2.02	CIP TURNDOWN @ RAMP	(2/ L502)
2.03	CIP CURB WALL @ RAMP	(3/ L502)
2.04	BOULDER PLANTER WALL	(4/ L502)
2.05	CIP PLANTER WALL @ EX BLDG	(5/ L502)
2.06	CONCRETE RETAINING WALL	(1/ L503)
2.07	SCREEN WALL	(2/ L503)
2.08	STAGE STAIR	(3/ L503)
2.09	BOULDER STAGE WALL	(4/ L503)
3.00	FURNISHINGS	
3.01	INTERPRETIVE PANEL	(1/ L507)
3.02	BIKE RACK	(2/ L507)
3.03	DIGITAL SIGN KIOSK	(3/ L507)
4.00	LIGHTING	
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6.02	PRE-FABRICATED VENDER KIOSK	(1/ L508)
6.03	PRE-FABRICATED RESTROOM	(2/ L508)
6.04	SHADE STRUCTURE	(5/ L504)

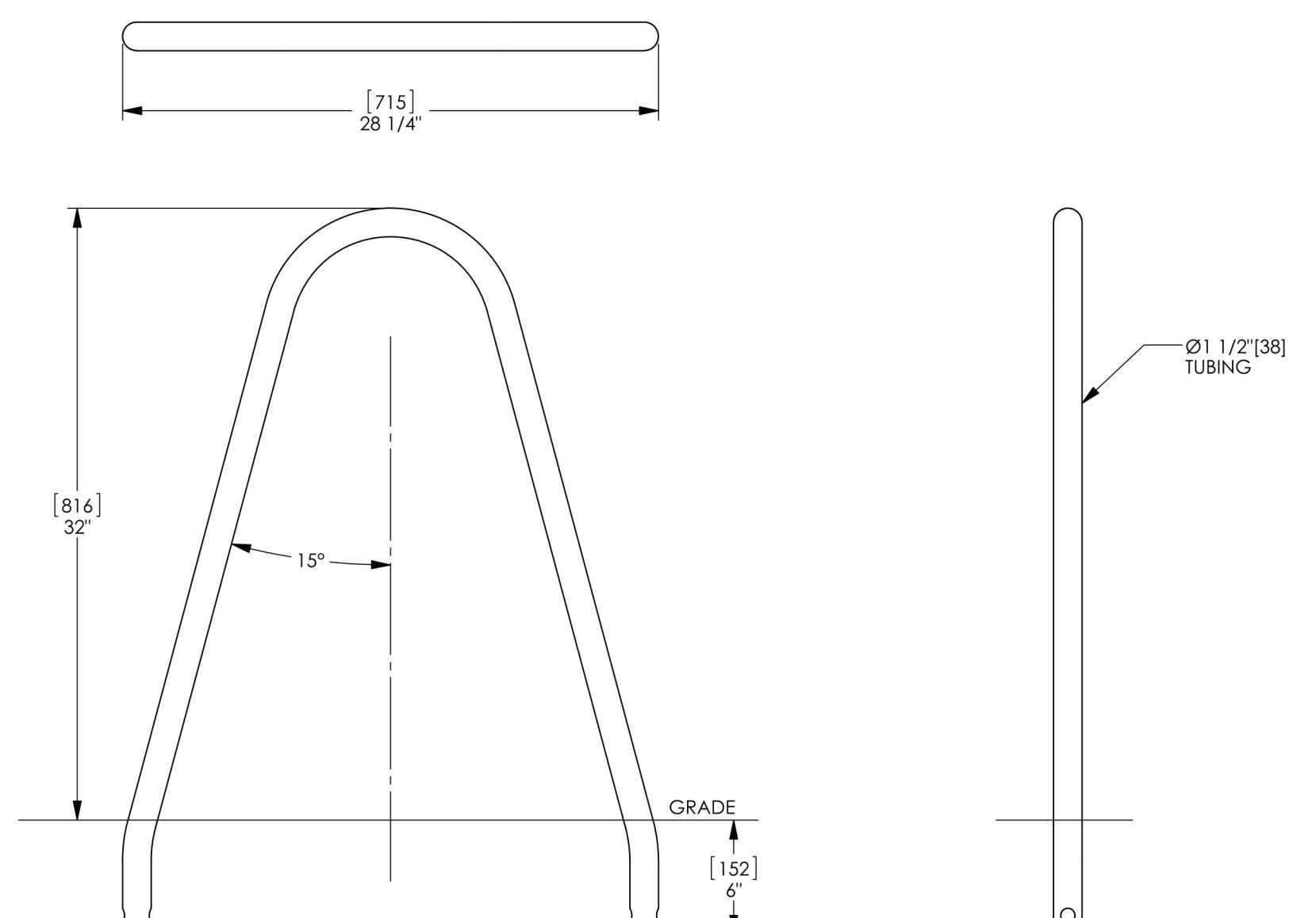


### 1 INTERPRETIVE PANEL

1/2" = 1'-0"

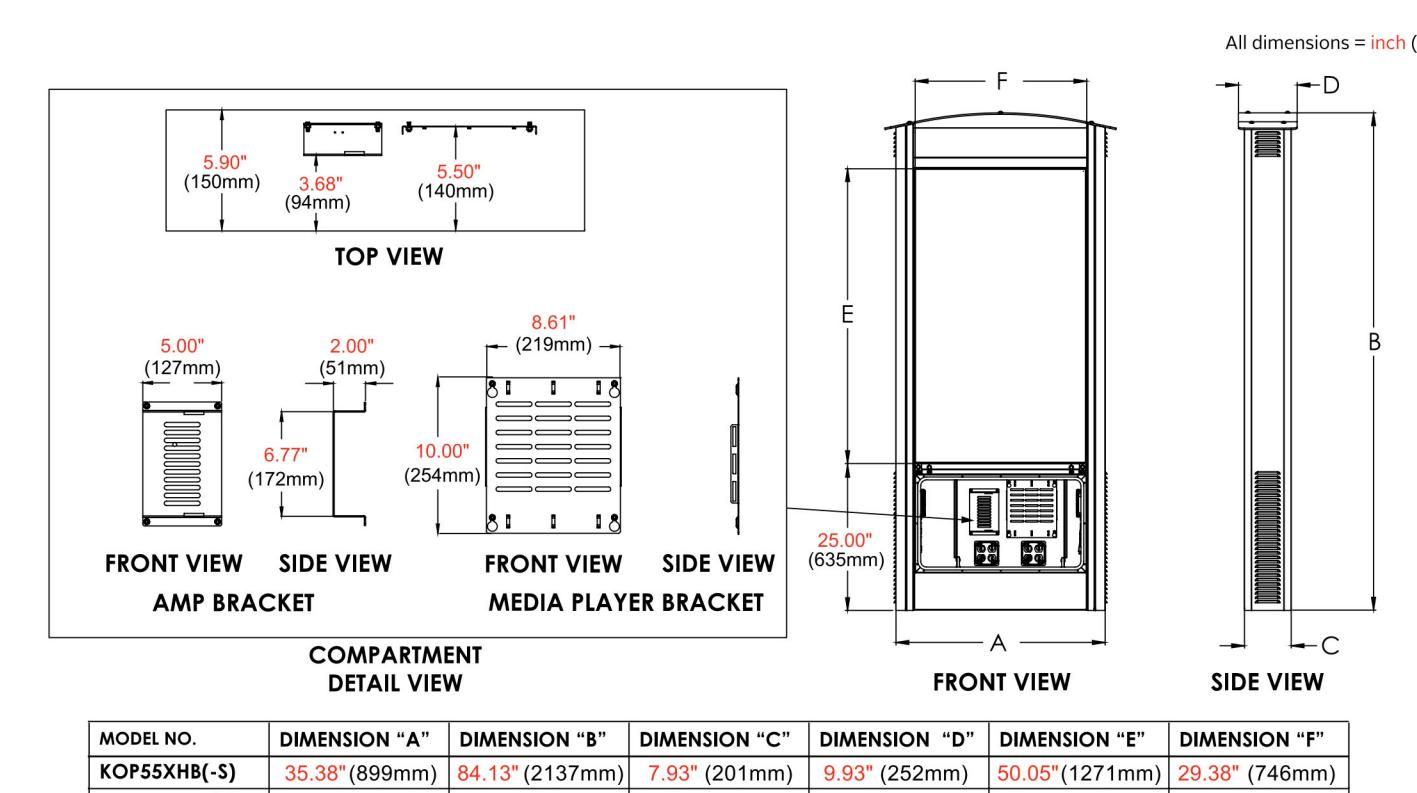
Bola® Bike Rack, Embedded  
Product Drawing

Date: 11/5/2014  
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Ph: 800.521.2546



landscapeforms®  
Drawing: BO661-01  
Dimensions are in inches [mm]

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Architect Specifications  
The Smart City Kiosk shall be a Peerless-AV® model KOP55XHB(S) and KOP55XHB(SA) and shall be located where indicated on the plans.  
Assembly and installation shall be done according to instructions provided by the manufacturer.

Visit [peerless-av.com](http://peerless-av.com) to see  
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LIT-1906 rev.4

### 2 BIKE RACK

1" = 1'-0"

### 3 DIGITAL SIGN KIOSK

12" = 1'-0"



City of Canon City  
P.O. BOX 1460  
CANON CITY, CO 81215

KEY PLAN



## CLOCK TOWER PLAZA

232 MAIN STREET, CANON CITY, COLORADO

### DETAIL KEYNOTE INDEX

KEYNOTE	DETAIL NAME	DTL. / SHT.
1.00 - PAVING & SURFACING		
1.01	CONCRETE PAVING	(1/ L501)
1.02	EXPANSION AND CONTROL JOINTS, TYP.	(2/ L501)
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6.02	PRE-FABRICATED VENDER KIOSK	(1/ L508)
6.03	PRE-FABRICATED RESTROOM	(2/ L508)
6.04	SHADE STRUCTURE	(5/ L504)



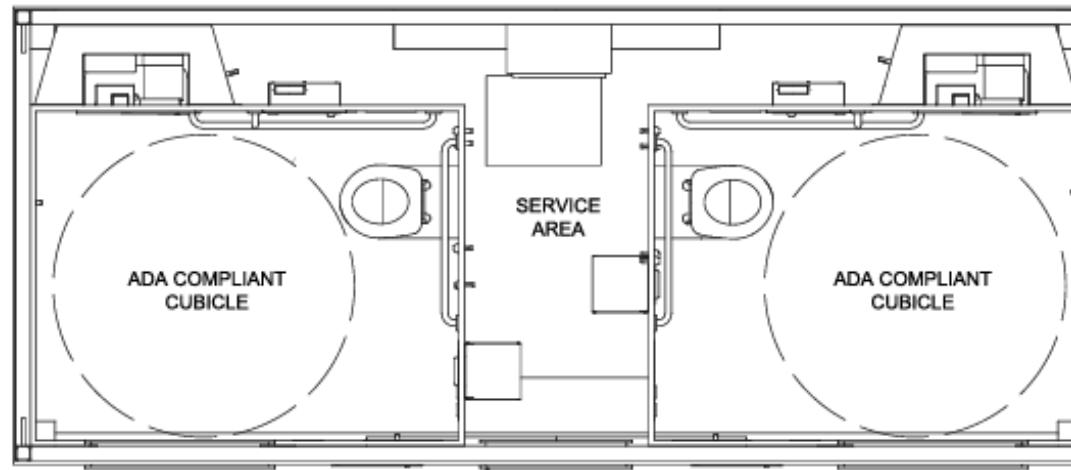
MANUFACTURER: ROXBOX CONTAINERS  
PRODUCT: 20' CANTEEN  
DESCRIPTION: PAINTED CONTAINER W/PERSONAL DOOR, (2) AWNINGS, STAINLESS STEEL COUNTERTOPS, WINDOW AC UNIT, 50A PANEL, AND EPOXY FLOORING  
DIMENSIONS: 20'L X 8'W X 8'6"H  
NOTES: ABOVE IMAGE FOR EXAMPLE ONLY - FINAL DOOR, WINDOW, AND FINISH SELECTION TBD

## 1 PRE-FABRICATED VENDER KIOSK

12" = 1'-0"

## JUPITER TWIN

WIDTH: 18' 1"  
DEPTH: 7' 7"



MANUFACTURER: EXELOO  
PRODUCT: JUPITER TWIN  
DESCRIPTION: (2) ADA-ACCESSIBLE RESTROOMS W/SKILLION ROOF, FUTUREWOOD BATTEN EXTERIOR  
DIMENSIONS: 18'1" L X 7'7" W  
NOTES: RIGHT IMAGE FOR EXAMPLE ONLY - FINAL DOOR, INTERIOR, AND EXTERIOR FINISHES TBD



## 2 PRE-FABRICATED RESTROOM

12" = 1'-0"

REVISIONS / SUBMISSIONS		
NO	DATE	DESCRIPTION

ISSUE

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DATE: 08/31/2023



SHEET INFORMATION

DRAWN BY: CM, MRW  
CHECKED BY: WV

SHEET TITLE

RESTROOM AND KIOSK DETAILS

SHEET NUMBER

L508



City of Canon City  
P.O. BOX 1460  
CAÑON CITY, CO 81215

KEY PLAN



## CLOCK TOWER PLAZA

232 MAIN STREET, COLORADO  
CAÑON CITY, COLORADO

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NO	DATE	DESCRIPTION

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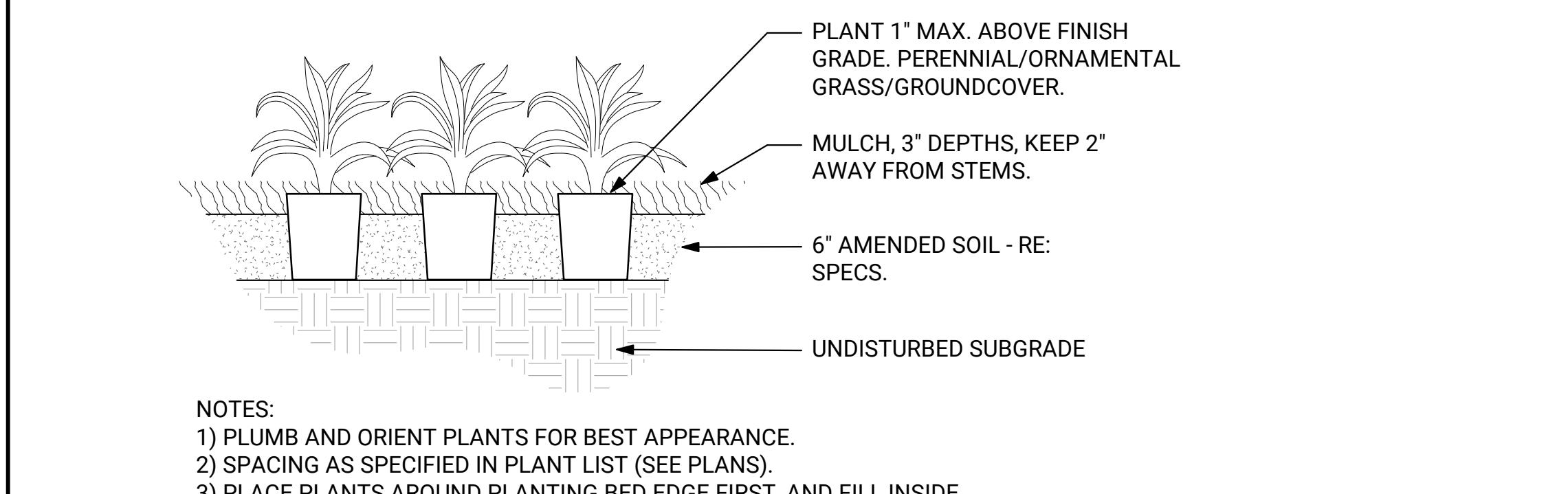
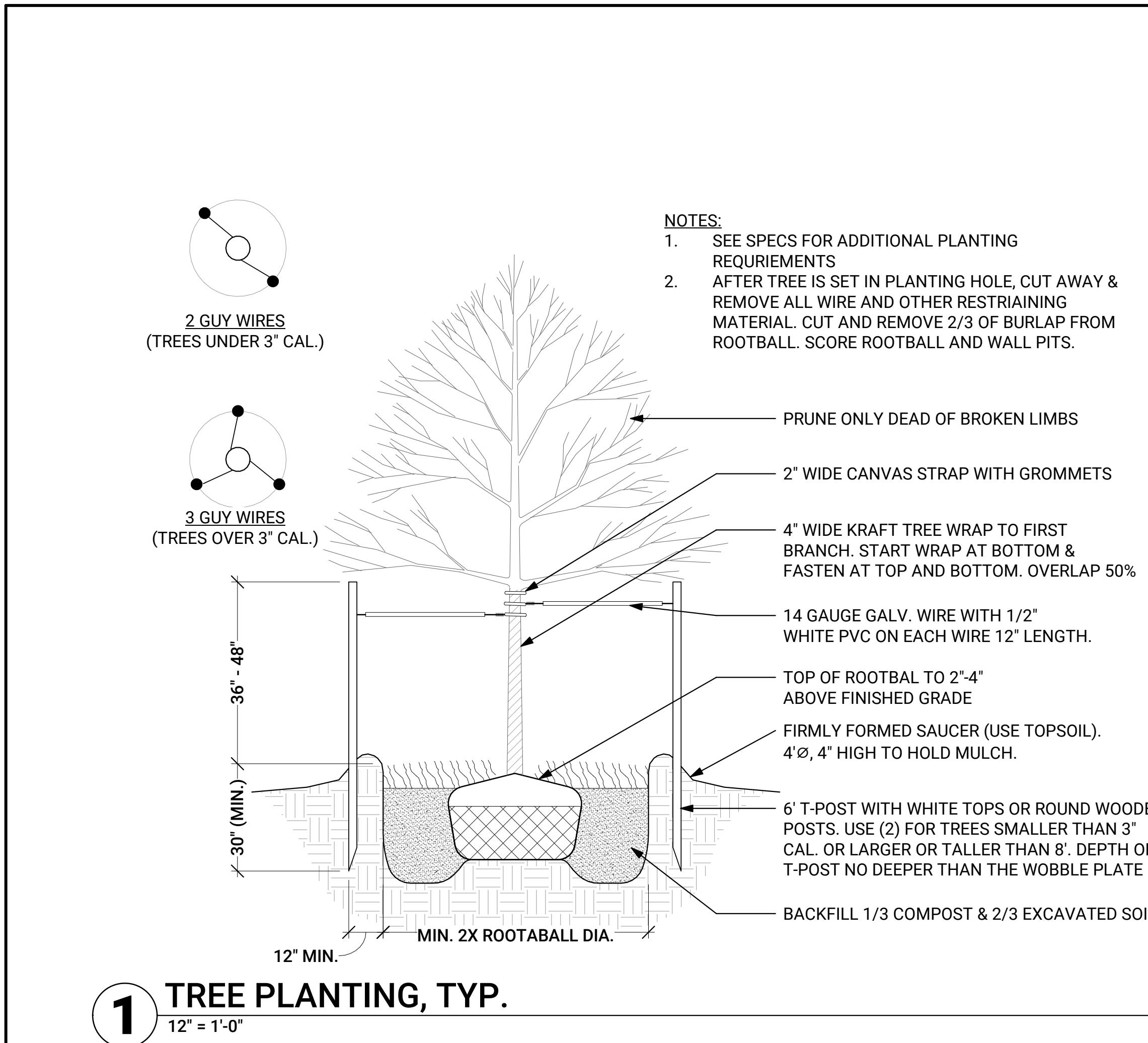
DATE: 08/31/2023

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Sheet Information  
DRAWN BY: CM, MRW  
CHECKED BY: WV

Sheet Title  
PLANTING DETAILS

Sheet Number  
L509





City of Canon City  
P.O. BOX 1460  
CAÑON CITY, CO 81215

KEY PLAN



## CLOCK TOWER PLAZA

232 MAIN STREET, COLORADO  
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