

CLOCK TOWER PLAZA

LOCATED IN THE SE 1/4 OF SECTION 32, TOWNSHIP 18 SOUTH,
RANGE 70 WEST OF THE SIXTH P.M
CITY OF CAÑON CITY, COUNTY OF FREMONT, STATE OF COLORADO

50% PROGRESS SET

ISSUED : SEPTEMBER 14, 2023

PROJECT LOCATION



PROJECT TEAM

Landscape Architecture



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KEY PLAN



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CLOCK TOWER
PLAZA
232 MAIN STREET
CAÑON CITY, COLORADO

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION

ISSUE

50% PROGRESS SET

DATE: 08/31/2023



SHEET INFORMATION

DRAWN BY: CM, MRW
CHECKED BY: WV

SHEET TITLE

COVER SHEET

SHEET NUMBER

G100

GRADING & DRAINAGE NOTES

1.

ALL PLANTERS AND PAVING AREAS SHALL HAVE POSITIVE SLOPE TO LOCAL AREA DRAINS.
2.

EXISTING UNDERGROUND UTILITIES ARE SHOWN PER AVAILABLE RECORDS. VERIFY THE ACTUAL LOCATION AND ELEVATION IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION OF THE NEW FACILITIES. PROTECT EXISTING UTILITIES AND BE RESPONSIBLE FOR DAMAGE TO UTILITIES ENCOUNTERED DURING CONSTRUCTION.
3.

REQUEST INSPECTION AS REQUIRED 48 HOURS IN ADVANCE OF PERFORMING ANY WORK UNLESS OTHERWISE NOTED ON THIS SHEET.
4.

DEBRIS CREATED BY REMOVAL OPERATIONS BECOME THE PROPERTY OF THE CONTRACTOR AND IS TO BE LEGALLY DISPOSED OF AWAY FROM THE JOB SITE.
5.

NOTIFY LOCAL UNDERGROUND SERVICE COMPANIES FOR UTILITY FINDS 48 HOURS PRIOR TO ANY EXCAVATION.

LAYOUT NOTES

1.

REFERENCE BOULDER/STONE DETAILS FOR PROPER SETTING, INCLUDING DEPTH TO BURY.
2.

CONTRACTOR TO FLAG BOULDER LAYOUT ARCS AND LOCATIONS FOR LANDSCAPE ARCHITECT AND CLIENT TO REVIEW PRIOR TO FINAL SETTING
3.

LANDSCAPE ARCHITECT TO CONFIRM ORIENTATION OF AND TOP ELEVATION OF BOULDERS
4.

PROPOSED FINISHED GRADE ELEVATIONS FOR ITEMS TO BE ADJUSTED, RESET OR MODIFIED SHALL BE FIELD VERIFIED BY THE CONTRACTOR.
5.

VERIFY LAYOUT AND DIMENSIONS PRIOR TO CONSTRUCTION. BRING DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
6.

FOR DIMENSIONS OF BUILDING, STRUCTURAL, AND RELATED WORK, REFER TO THE PLANS PROVIDED BY THE APPROPRIATE DISCIPLINE.
7.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE DRAWINGS.
8.

WHERE DIMENSIONS ARE CALLED AS "EQUAL," SPACE REFERENCED ITEMS EQUALLY, MEASURED TO THEIR CENTER LINES, OR AS NOTED IN DRAWINGS.
9.

MEASUREMENTS ARE TO FACE OF WALL, STAIR, OR OTHER FIXED SITE IMPROVEMENT AS INDICATED. DIMENSIONS TO CENTER LINES IS INDICATED.
10.

INSTALL INTERSECTING ELEMENTS AT 90 DEGREE ANGLES TO EACH OTHER UNLESS OTHERWISE NOTED.
11.

ON THE GROUND FLOOR, PROVIDE EXPANSION JOINTS WHERE CONCRETE FLATWORK MEETS VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS AND BUILDING ELEMENTS.

PLANTING NOTES

1.

ON THE GROUND FLOOR, REFER TO CIVIL ENGINEER'S UTILITY AND PRECISE GRADING PLANS FOR UTILITY LOCATION AND FINAL GRADING. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE PLANS, CONTACT THE LANDSCAPE ARCHITECT FOR DIRECTION AS TO HOW TO PROCEED.
2.

VERIFY LOCATIONS OF PERTINENT PROJECT IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO PROJECT CONDITIONS, CONTACT LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
3.

EXACT LOCATIONS OF PLANT MATERIALS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
4.

VERIFY PLANT COUNTS AND SQUARE FOOTAGES: QUANTITIES ARE PROVIDED AS OWNER INFORMATION ONLY. IF QUANTITIES ON PLANT LIST DIFFER FROM GRAPHIC INDICATIONS, THEN GRAPHICS SHALL PREVAIL.
5.

TREES TO BE PLANTED A MINIMUM OF 4 FEET FROM PAVEMENT OR WALLS, EXCEPT AS APPROVED BY LANDSCAPE ARCHITECT.
6.

PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
7.

PRUNE NEWLY PLANTED TREES ONLY AS DIRECTED BY LANDSCAPE ARCHITECT.
8.

ALIGN AND EQUALLY SPACE IN ALL DIRECTIONS SHRUBS SO DESIGNATED PER THESE NOTES AND DRAWINGS.
9.

FINISH GRADES OF PLANTING BEDS SHALL BE 2 INCHES BELOW ADJACENT PAVING, HEADER OR WALL.
10.

PROVIDE BURLAP WRAPPING TO SECOND BRANCH WITH 50% OVERLAP.
11.

CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL.
12.

LANDSCAPE ARCHITECT TO REVIEW PLANT MATERIALS AT SOURCE OR BY PHOTOGRAPHS PRIOR TO DIGGING OR SHIPPING OF PLANT MATERIALS.

ABBREVIATIONS

∠, ∅ / ∅ = ∅ φ (E) ∞ P #	AND ANGLE AT CENTERLINE CHANNEL DIAMETER OR ROUND EXISTING PENNY (NAIL) PLATE POUND OR NUMBER	EMER ENCL EP EPT EQ EQUIP EW EQUIV EXTN EXP EXT EXT	EMERGENCY ENCLOSURE ELEC. PANELBOARD EXTERNAL PIPE THREAD EQUAL EQUIPMENT EACH WAY EQUIVALENT EXTENSION EXPOSED EXISTING EXTERIOR	N NIC NO, # NOM NTS	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
AB ABV A/C AC ACV ACS PNL ACST AD ADDM ADJ ADJA AGGR AFF ALUM ALT ANOD APPROX ASPH ASSY ARCH	ANCHOR BOLT ABOVE AIR CONDITIONING ASPHALTIC CONCRETE AUTOMATIC CONTROL VALVE ACCESS PANEL ACOUSTICAL AREA DRAIN ADDENDUM ADJUSTABLE ADJACENT AGGREGATE ABOVE FINISH FLOOR ALUMINUM ALTERNATE ANODIZED APPROXIMATE ASPHALT ASSEMBLY ARCHITECT(URAL)	FAEM FB FBC FBO FBRG FD FDN FF FG FHC FHMS FHWS FIN FL FLASH FLDG FLUOR FO FOC FOS FPRF FR FS FT FTG FUT	FEMALE FLUID APPLIED ELASTOMERIC MEMBRANE FLAT BAR FURNISHED BY CONTRACTOR FURNISHED BY OTHERS FIBERGLASS FLOOR DRAIN FOUNDATION FINISH FACE FINISH GRADE ELEVATION FIRE HOSE CABINET FLAT HEAD MACHINE SCREW FLAT HEAD WOOD SCREW FINISH(ED) FLOOR FLASHING FOLDING FLUORESCENT FIBER OPTIC FACE OF CONCRETE FACE OF STUD(S) FIREPROOF FRAME FINISHED SURFACE FOOT, FEET FOOTING FUTURE	OA OBS OC OD OHWS OPNG OPP	OVERALL OBSCURE ON CENTER OUTSIDE DIAMETER/DIMENSION OVAL HEAD MACHINE SCREW OVAL HEAD WOOD SCREW OPENING OPPOSITE
BC BCV BD BEV BFP BITUM BLDG BLKG BM BOT BRKT BRZ BOS BSMT BTWN BRLP BV	BOTTOM OF CURB BUTTERFLY CHECK VALVE BOARD BEVEL BACK-FLOW PREVENTER BITUMINOUS BUILDING BLOCKING BEAM, BENCHMARK BOTTOM BRACKET BRONZE BOTTOM OF STAIR BASEMENT BETWEEN BURLAP BALL VALVE	GA GALV GC GI GL GLB GND GR GT	GAUGE GALVANIZED GENERAL CONTRACT(OR) GALVANIZED IRON/STEEL GLASS GLASS BLOCK GROUND GRADE GRATE	PA PC PL PLAM PLAS PLBG PLGL PLYWD PNL POC POL PR PRCST PT	PLANTING AREA PIECE PROPERTY LINE PLASTIC LAMINATE PLATE PLASTER PLUMBING PLATE GLASS PLYWOOD PANEL POINT OF CONNECTION POLISHED PAIR PRECAST PRESSURE TREATED, POINT OF TANGENCY PAINTED POLYVINYL CHLORIDE PAVEMENT
CAB CB CEM CER CU FT CHAM CI CIP CJ CL CLG CLKJ CLO CLR CJ CO COL COMB COMP CONC COND CONN CONSTR CONT CONTR CORR CHKV CMU CSMT CT CTR CTSK CU YD	CABINET CATCH BASIN CEMENT CERAMIC CUBIC FOOT/FEET CHAMFER CAST IRON CAST-IN PLACE CONTROL JOINT CENTER LINE CEILING CAULKED JOINT CLOSET CLEAR(ANCE) CONTROL JOINT CLEAN OUT COLUMN COMBINATION COMPRESS(ED), (ION), (IBLE) CONCRETE CONDITION CONNECTION CONSTRUCTION CONTINUOUS CONTRACTOR CORRIGATED CHECK VALVE CONCRETE MASONRY UNIT CASEMENT CT CERAMIC TILE CENTER COUNTERSUNK, (SINK) CUBIC YARD(S)	H HB HC HD HDBD HDR HDWD HDWE HT HM HORIZ HP HR HVAC	HIGH HOSE BIBB HOLLOW CORE HEAVY DUTY, HOT DIP HARDBOARD HEADER HARDWOOD HARDWARE HEIGHT HOLLOW METAL HORIZONTAL HIGH POINT, HIGH PRESSURE HANDRAIL HEATING/VENTILATING AIR CONDITIONING	R RAD RB RCP RD REF REINF REQ RESIL RO RP RWD	RISER, RADIUS RADIUS REINFORCING BAR(S) REINFORCED CONCRETE PIPE ROOF DRAIN REFERENCE REINFORCES, REINFORCING REQUIRED RESILIENT ROUGH OPENING RECYCLED PLASTIC REDWOOD
D DBL DEMO DEP DEPT DET DF DI DIA DIAG DICA DIM DN DR DS DSP DWG	DEEP DEPTH DOUBLE DEMOLISH, DEMOLITION DEPRESSED DEPARTMENT DETAIL DRINKING FOUNTAIN DUCTILE IRON DIAMETER DIAGONAL DRILLED IN CONCRETE ANCHOR DIMENSION DOWN DOOR DOWNSPOUT DRY STANDPIPE DRAWING	I IBC IBO ID INCL INSUL INT INV IR	INSTALLED BY CONTRACTOR INSTALLED BY OTHERS INSIDE DIAMETER/DIMENSION INCL(ED), (ING), (SIVE) INSULATION INTERIOR/INTEGRAL INVERT ELEVATION IRREGULAR	S SAN SC SC SCHD SCR SECT SF SG SHT SL SLDG SP SQ SS SST, S/S STA STD STL STOR STRL SURRE SUSP SWC SYM	SOUTH SANITARY SEWER SOLID CORE SCALE SCHEDULE SCREEN SECTION SQUARE FOOT (FEET) SUB GRADE ELEVATION SHEET SLOPE SLIDING SPACE(D) SQUARE STORM SEWER STAINLESS STEEL STATION STANDARD STEEL STORAGE STRUCTURAL SURROUND SUSPEND(ED) SOLID WOOD CORE SYMMETRICAL
E EA EB EF EJ EL ELEC ELEV	EAST EACH EXPANSION BOLT EACH FACE EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR	J JT KJ KO	JOINT KEYED JOINT KNOCK-OUT	T TC TEMP TO THR TP T TS TW TYP	T TOP OF CURB TEMPERED TOP OF THRESHOLD TOP OF PAVEMENT TREAD TOP OF STAIR TOP OF WALL TYPICAL
		LA LAM LED LFT LP LT LVR LWT	LANDSCAPE AREA LAMINATE LIGHT EMITTING DIODE LINEAR FOOT LOW POINT LIGHT LOUVER LIGHTWEIGHT	UNF UON UR	UNFINISHED UNLESS OTHERWISE NOTED URINAL
		M MAX MECH MEMB MED MET MFR MH MIN MISC MO MTD MTG MUL	MALE MAXIMUM MECHANICAL MEMBRANE MEDIUM METAL MANUFACTURER MANHOLE MINIMUM MISCELLANEOUS MASONRY OPENING MOUNTED MOUNTING MULLION	VCT VERT VWC VNRPLAS	VINYL COMPOSITION TILE VERTICAL VINYL WALL COVERING VENEER PLASTER
				W W/ WD WF W/O WO WP WR WSP WT WWM	WEST, WIDE, WIDTH WITH WOOD WIDE FLANGE WITHOUT WHERE OCCURS WATERPROOF (ING) WATER RESISTANT WET STAND PIPE WEIGHT WELDED WIRE MESH

ABBREVIATIONS & LEGEND APPLY TO ALL SHEETS UNLESS OTHERWISE NOTED

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KEY PLAN



CLOCK TOWER
PLAZA

232 MAIN STREET
CAÑON CITY, COLORADO

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION

ISSUE

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DATE: 08/31/2023

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SHEET INFORMATION

DRAWN BY: CM, MRW

CHECKED BY: WV

SHEET TITLE

LANDSCAPE NOTES

SHEET NUMBER

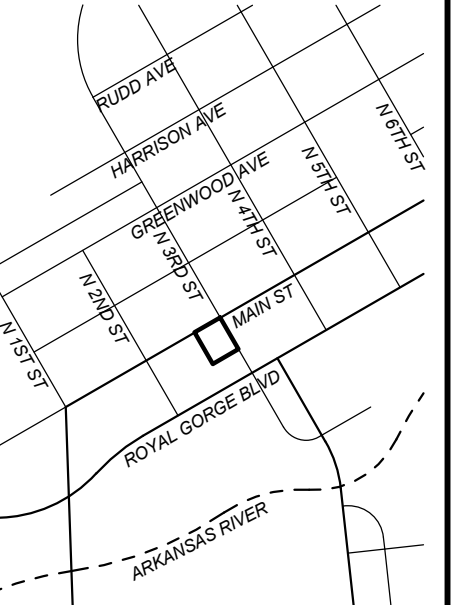
G101



Know what's below.
Call before you dig.



1. THE CITY OF CAÑON CITY DOES NOT WARRANT THE ACCURACY OR RELIABILITY OF THE EXISTING SITE PLAN SHOWN. PLAN RECIPIENT UNDERSTANDS AND ACKNOWLEDGES THAT THIS SITE PLAN MAY BE INACCURATE OR CONTAIN ERRORS OR OMISSIONS; RECIPIENT OF PLAN ASSUMES FULL RESPONSIBILITY FOR ANY RISKS OR DAMAGES RESULTING FROM, ARISING FROM OR IN CONNECTION WITH ANY USE OF OR RELIANCE OF INFORMATION SHOWN ON PLAN. THE CITY OF CAÑON CITY ADDITIONALLY DISCLAIMS ALL OBLIGATION AND LIABILITY FOR DAMAGES, INCLUDING BUT NOT LIMITED TO, ACTUAL, SPECIAL, INDIRECT, AND CONSEQUENTIAL DAMAGES, ATTORNEY'S AND EXPERT'S FEES, AND COURT COSTS INCURRED AS A RESULT OF, ARISING FROM OR IN CONNECTION WITH USE OF OR RELIANCE UPON THE PLAN SHOWN.
2. RIGHT-OF-WAY AND LEGAL PROPERTY BOUNDARY NOT SHOWN ON PLAN. EXISTING SITE CONDITIONS DEVELOPED BY LOCAL SURVEY BASED ON COORDINATES OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 83. COLORADO LICENSED SURVEYOR SHALL VERIFY RIGHT-OF-WAY, LEGAL PROPERTY, BOUNDARY, AND EXISTING SITE CONDITIONS.
3. ALL UTILITY LOCATES AND POTHOLE ARE APPROXIMATE; FIELD VERIFICATION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.



CAÑON CITY, COLORADO

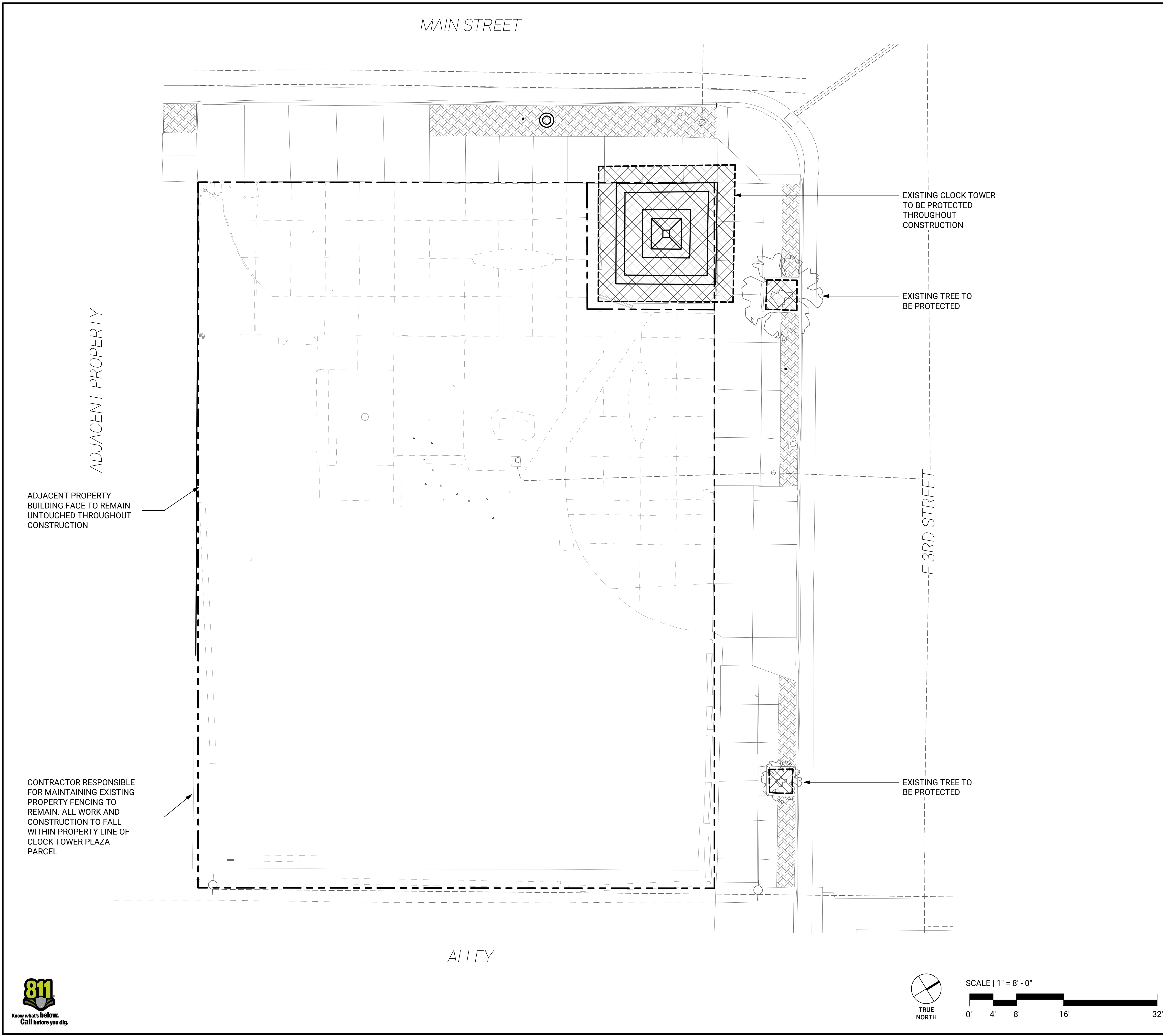
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SHEET NUMBER

G102



MODIFIED FROM ORIGINAL SCALE



TREE PROTECTION NOTES

- EXISTING STREET TREES TO BE PRESERVED SHALL BE PROTECTED PER CITY OF CANON CITY FORESTRY STANDARDS AND PRACTICES. TREE PROTECTION SHALL BE;
 - INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES
 - REMAIN IN PLACE AND AS APPROVED UNTIL CERTIFICATE OF OCCUPANCY OR SUBSTANTIAL COMPLETION AND FINAL ACCEPTANCE IS ISSUED.
- TREE PROTECTION REQUIREMENTS;
 - TREE PROTECTION ZONE (TPZ) SHALL BE INSTALLED AT THE DRIPLINE, FURTHEST EXTENT OF TREE CANOPY, OR IS EQUAL TO EIGHTEEN INCHES RADIALLY FROM THE TREE FOR EVERY ONE INCH OF TRUNK DIAMETER AT BREAST HEIGHT (DBH = 4.5' ABOVE SOIL LINE), WHICHEVER IS GREATER
 - INSTALL SIX FOOT (6) CHAIN LINK FENCING PRIOR TO COMMENCEMENT OF PROJECT CONSTRUCTION ACTIVITIES
 - OWNER'S REPRESENTATIVE AND/OR CONSULTING ARBORIST SHALL INSPECT AND APPROVE BOUNDARIES OF TREE PROTECTION ZONE(S) PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION ACTIVITIES
 - ONCE TPZ IS IN PLACE, THE FOLLOWING ARE NOT PERMITTED WITHIN TPZ WITHOUT PRIOR WRITTEN APPROVAL FROM OWNER'S REPRESENTATIVE AND/OR CONSULTING ARBORIST.
 - ENTRANCE AND/OR ACCESS
 - MOVING, RESIZING, REMOVING, OR ALTERING IN ANY MANNER
 - STORAGE OF MATERIALS/DEBRIS/EQUIPMENT
 - CONSTRUCTION ACTIVITIES INCLUDING BUT NOT LIMITED TO; ROTOTILLING, TRENCHING, GRADING, INSTALLATION OF UNDERGROUND UTILITIES AND/OR SITE IMPROVEMENTS, LANDSCAPING, IRRIGATION WORK
 - IRRIGATION LINE WORK SHALL BE COMPLETED BY DIRECTION BORE
 - "TREE PROTECTION ZONE" SIGNS SHALL REMAIN IN PLACE AS POSTED AND SHALL BE MAINTAINED IN THE CONDITION IN WHICH THEY WERE INSTALLED
 - TREE PRUNING FOR CLEARANCE ISSUES MUST HAVE PRIOR AUTHORIZATION BY OWNER'S REPRESENTATIVE AND/OR CONSULTING ARBORIST.
- CLEAR VISIBILITY INTO TPZ MUST BE MAINTAINED. ALL CONSTRUCTION BANNERS, SCREENS, BARRIERS, AND/OR SIGNS (EXCEPT POSTED TPZ SIGNS) MUST BE SEMI-TRANSPARENT AND NOT IMPEDED INSPECTION OF TPZ BY OWNER'S REPRESENTATIVE AND/OR CONSULTING ARBORIST.
- FOR PROJECTS WITH A DURATION OF 5 DAYS OR LONGER;
 - PROTECTED TREES SHALL BE DEEP-ROOT WATERED AT A MINIMUM INTERVAL OF ONCE EVERY TWO WEEKS WHEN TEMPERATURES ARE AT OR ABOVE 40-DEGREES F
 - TREES SHALL BE WATERED AT THE RATE OF 25 GALLONS PER INCH DBH.
 - INSECT AND DISEASE TREATMENTS SHALL BE APPLIED WHEN NECESSARY OR AS ORDERED BY OWNER'S REPRESENTATIVE AND/OR CONSULTING ARBORIST
 - OWNER'S REPRESENTATIVE AND/OR CONSULTING ARBORIST MAY ASK FOR PROOF OF WATERING AND/OR TREATMENT.

SITE PROTECTION LEGEND

- PROPERTY LINE
- PROTECTION ZONE



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CANON CITY, CO 81215

KEY PLAN



CLOCK TOWER PLAZA

232 MAIN STREET
CANON CITY, COLORADO

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION

ISSUE

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SHEET INFORMATION

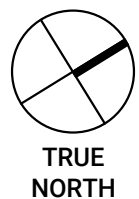
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SHEET TITLE

SITE PROTECTION PLAN

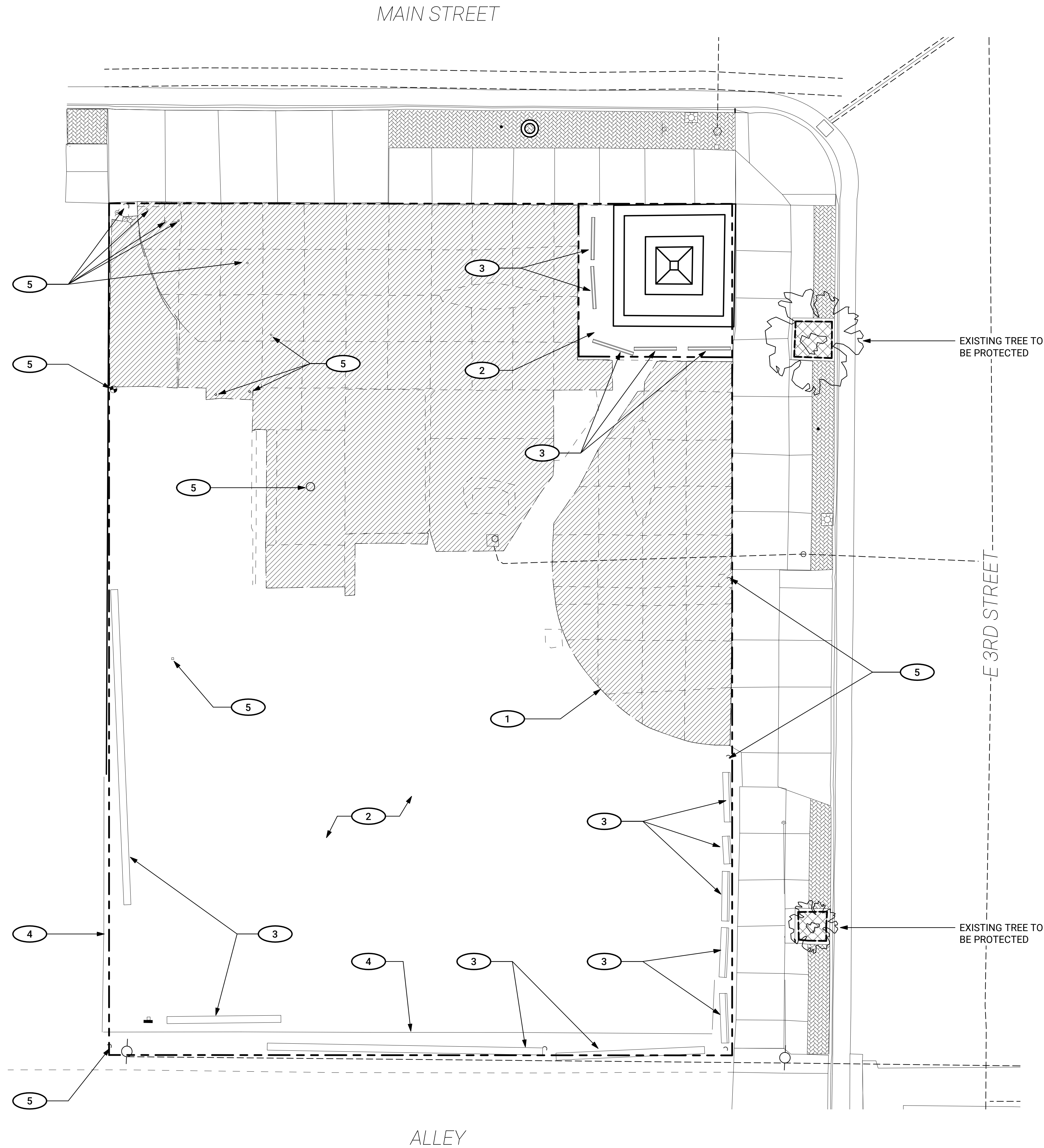
SHEET NUMBER

D101



SCALE | 1" = 8' - 0"





DEMOLITION REFERENCE NOTES

- 0 TREE PROTECTION ZONE
- 1 REMOVE EXISTING CONCRETE PAVING INSIDE OF PROPERTY LINE UP TO THE ADJACENT SIDEWALK
- 2 REMOVE CRUSHED GRAVEL PAVING TO EXPOSE SUBGRADE SOIL
- 3 REMOVE CONCRETE BARRIERS AND UTILITY POLES USED AS PARKING CURB STOPS
- 4 REMOVE EXISTING CHAINLINK AND WOODEN FENCING
- 5 REMOVE EXISTING PIPES, POSTS, BOLLARDS, AND OTHER MISCELLANEOUS VERTICAL ELEMENTS
- 6 PRESERVE EXISTING WATER LINE AND METER
- 7 PRESERVE EXISTING ELECTRICAL ELEMENTS

NOTE:
ENVIRONMENTAL CLEANUP AND APPROACH TO PHASE 2 ASSESSMENT BEING CONFIRMED AND DETAILS REGARDING APPROACH FORTHCOMING. DEMO PLAN AS SHOWN HERIN DOES NOT ACCOUNT FOR PHASE 2 CLEANUP AND EXISTING CONDITIONS OF SITE, AT GRADE AND BELOW ARE SUBJECT TO VARY FROM CONDITIONS PRESENT AT TIME OF SURVEY.

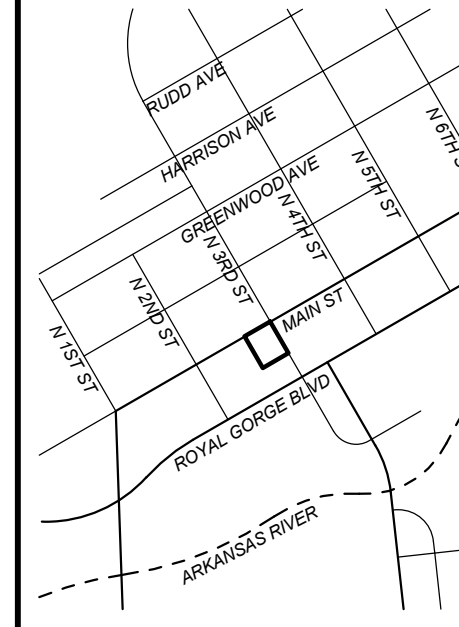
**ANY OBJECTS OR CONDITIONS IDENTIFIED ON SITE THAT ARE NOT PRESENT ON THE SITE SURVEY SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR CONTRACT ADMINISTRATOR

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KEY PLAN



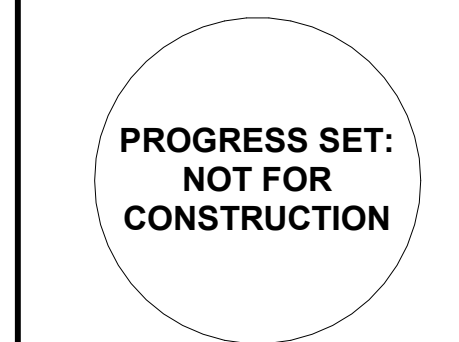
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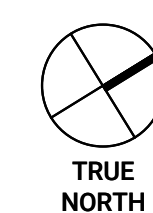
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SHEET TITLE

DEMOLITION PLAN

SHEET NUMBER

D102



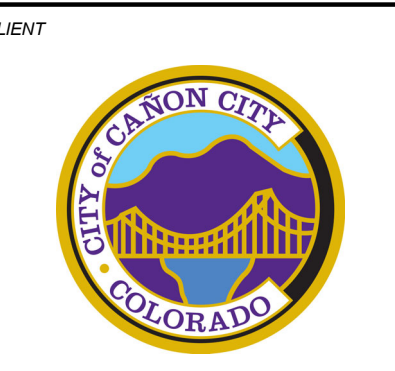
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MAIN STREET

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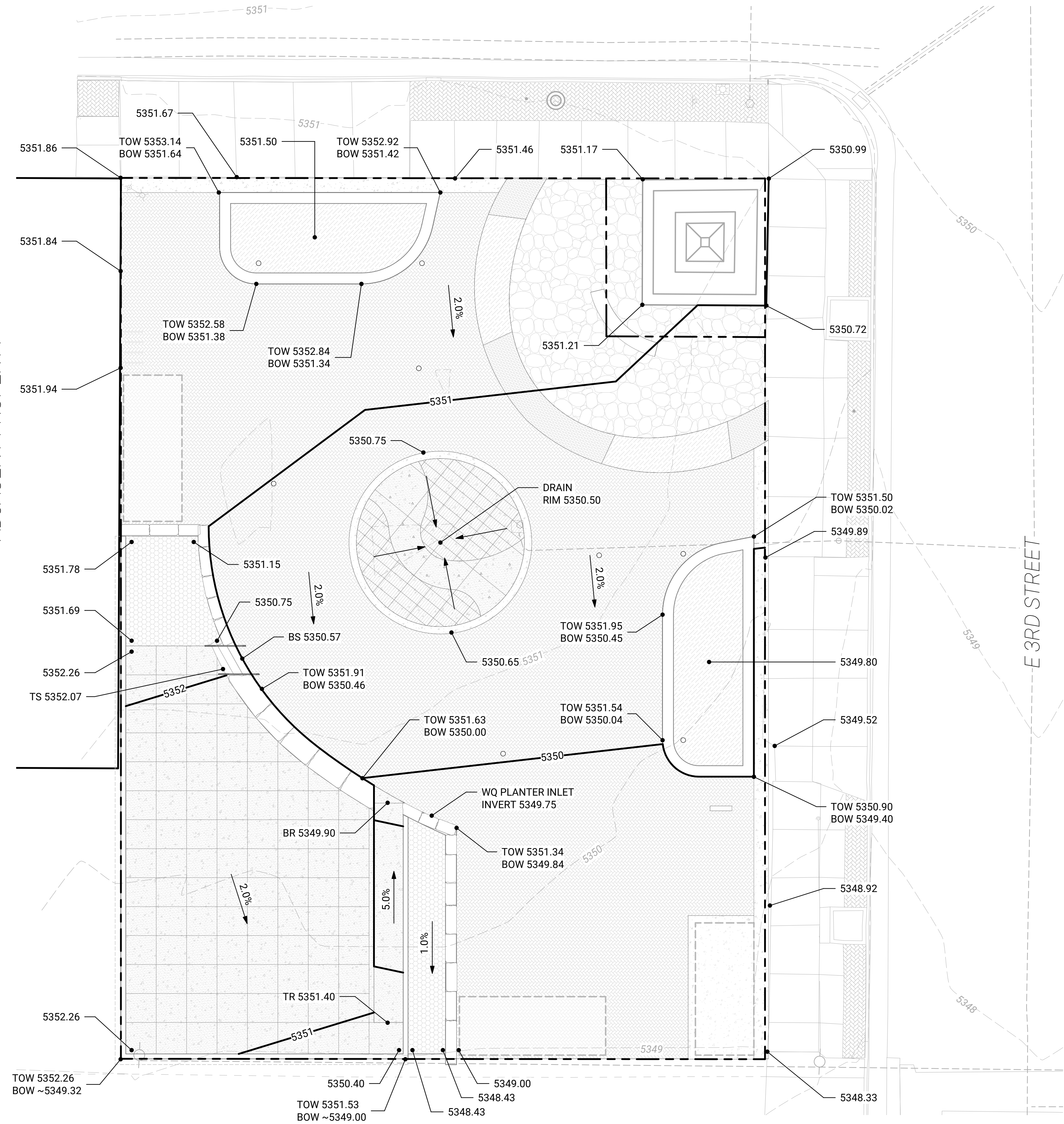
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SHEET TITLE
GRADING & DRAINAGE
PLAN

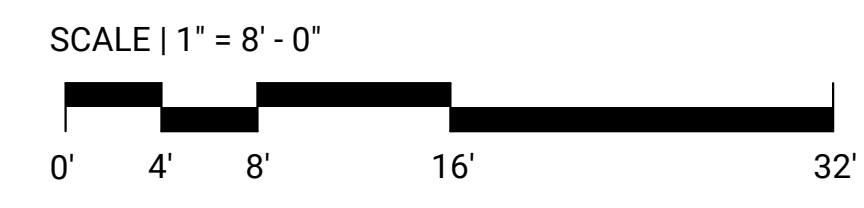
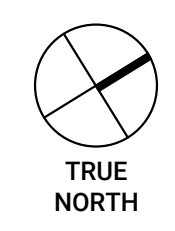
SHEET NUMBER
C301

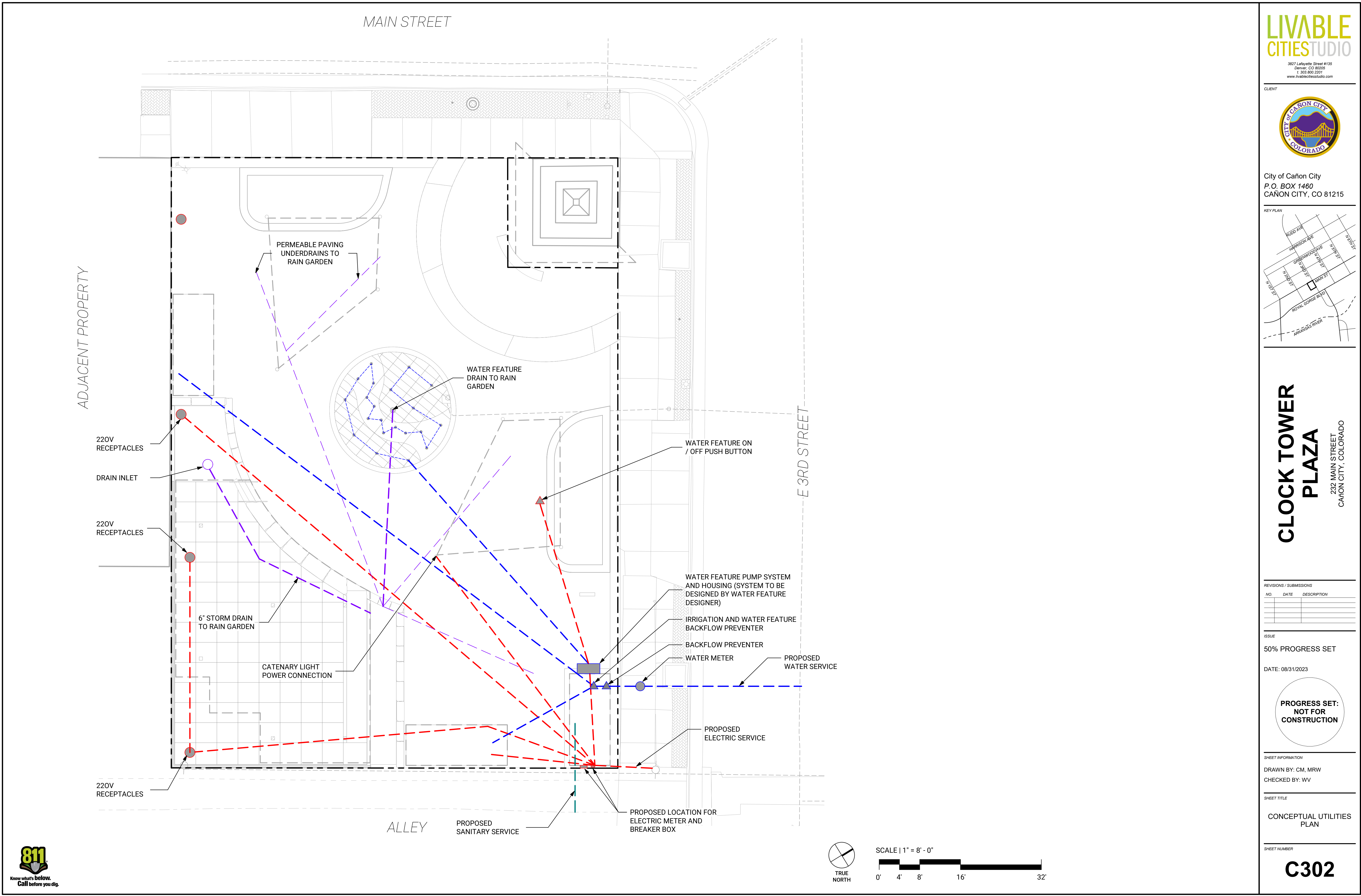
ADJACENT PROPERTY



ALLEY

E 3RD STREET





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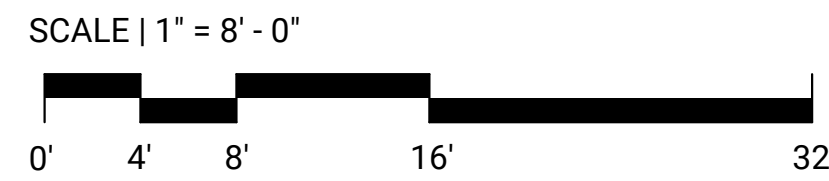
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CONCEPTUAL UTILITIES
PLAN

C302



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CITIES**STUDIO

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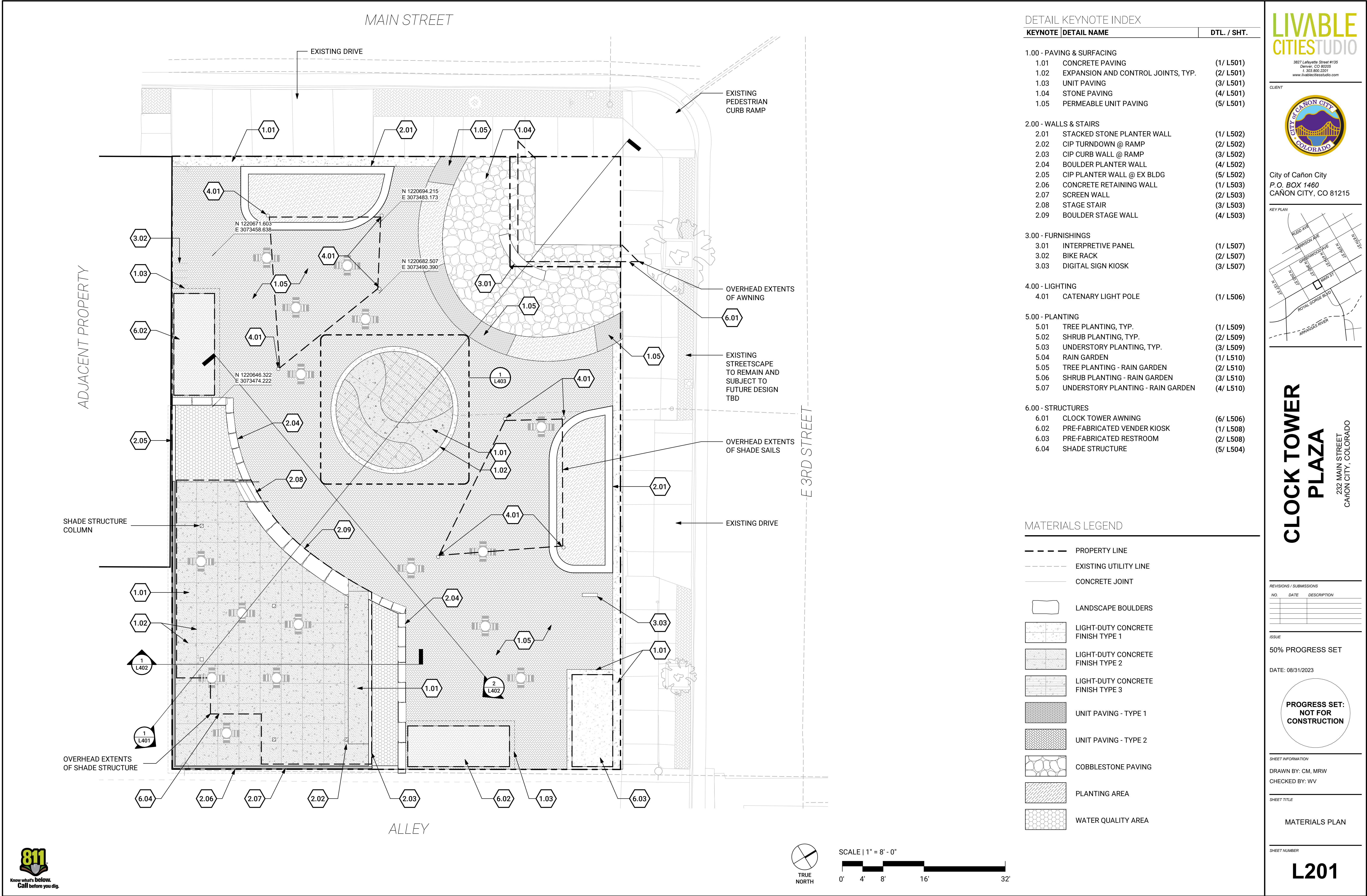
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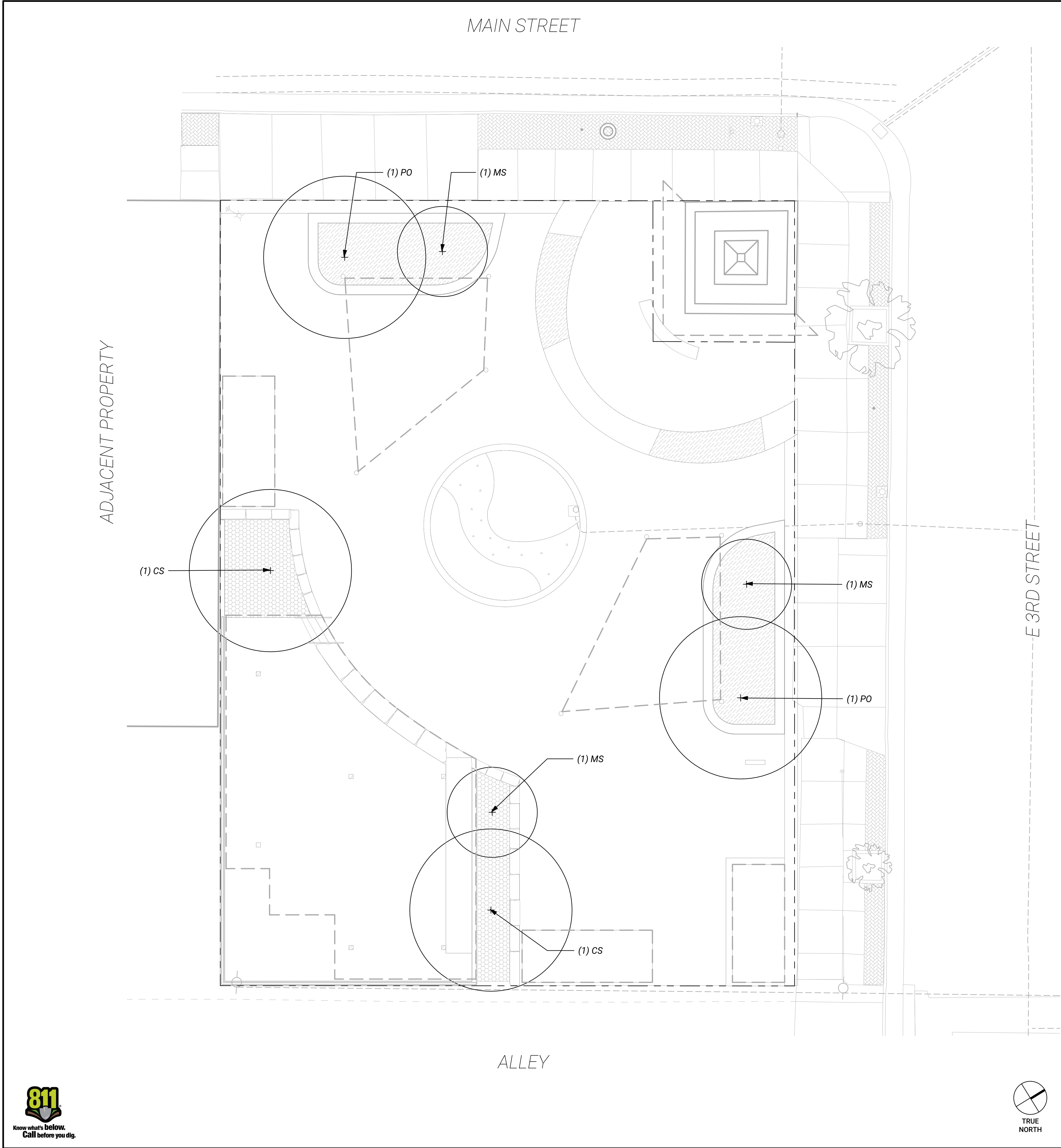
SHEET TITL

LAYOUT PLAN

SHEET NUMBER

L101

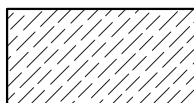
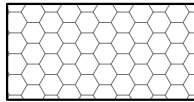




PLANT SCHEDULE

QTY	ABV	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREE					
2	CS	Catalpa Speciosa	Northern Catalpa	3" CAL	30' O.C. MIN.
3	MS	Malus x 'Spring Snow'	Spring Snow Crabapple	3" CAL	6' O.C.
2	PO	Platanus occidentalis 'Bismarck'	Northern Advance Sycamore	3" CAL	30' O.C. MIN.

PLANTING LEGEND

-  XERIC PLANTING AREA
-  WATER QUALITY PLANTING AREA

XERIC PLANTING PALLETTE

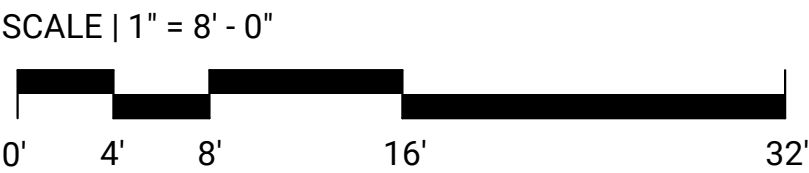
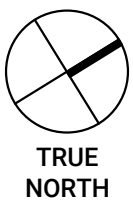
- Rhus aromatica* 'Gro-Low'
Daphne x burkwoodii 'Carol Mackie'
Festuca glauca 'Boulder Blue'
Agastache rupestris
Salvia pachyphylla
- Gro-Low Sumac
Carol Mackie Daphne
Boulder Blue Fescue
Sunset Hyssop
Mojave Sage

WATER QUALITY PLANTING PALLETTE

- Cornus stolonifera* 'Farrow'
Panicum virgatum 'Shenandoah'
Andropogon gerardii 'Windwalker'
- Arctic Fire Dogwood
Shenandoah Switchgrass
Windwalker Big Bluestem

PLANTING KEYNOTE INDEX

KEYNOTE	DETAIL NAME	DTL. / SHT.
5.00 - PLANTING		
5.01	TREE PLANTING, TYP.	(1/ L509)
5.02	SHRUB PLANTING, TYP.	(2/ L509)
5.03	UNDERSTORY PLANTING, TYP.	(3/ L509)
5.04	RAIN GARDEN	(1/ L510)
5.05	TREE PLANTING - RAIN GARDEN	(2/ L510)
5.06	SHRUB PLANTING - RAIN GARDEN	(3/ L510)
5.07	UNDERSTORY PLANTING - RAIN GARDEN	(4/ L510)



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City of Cañon City
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CAÑON CITY, CO 81215

KEY PLAN



CLOCK TOWER PLAZA

232 MAIN STREET
CAÑON CITY, COLORADO

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION

ISSUE

50% PROGRESS SET

DATE: 08/31/2023

PROGRESS SET:
NOT FOR
CONSTRUCTION

SHEET INFORMATION

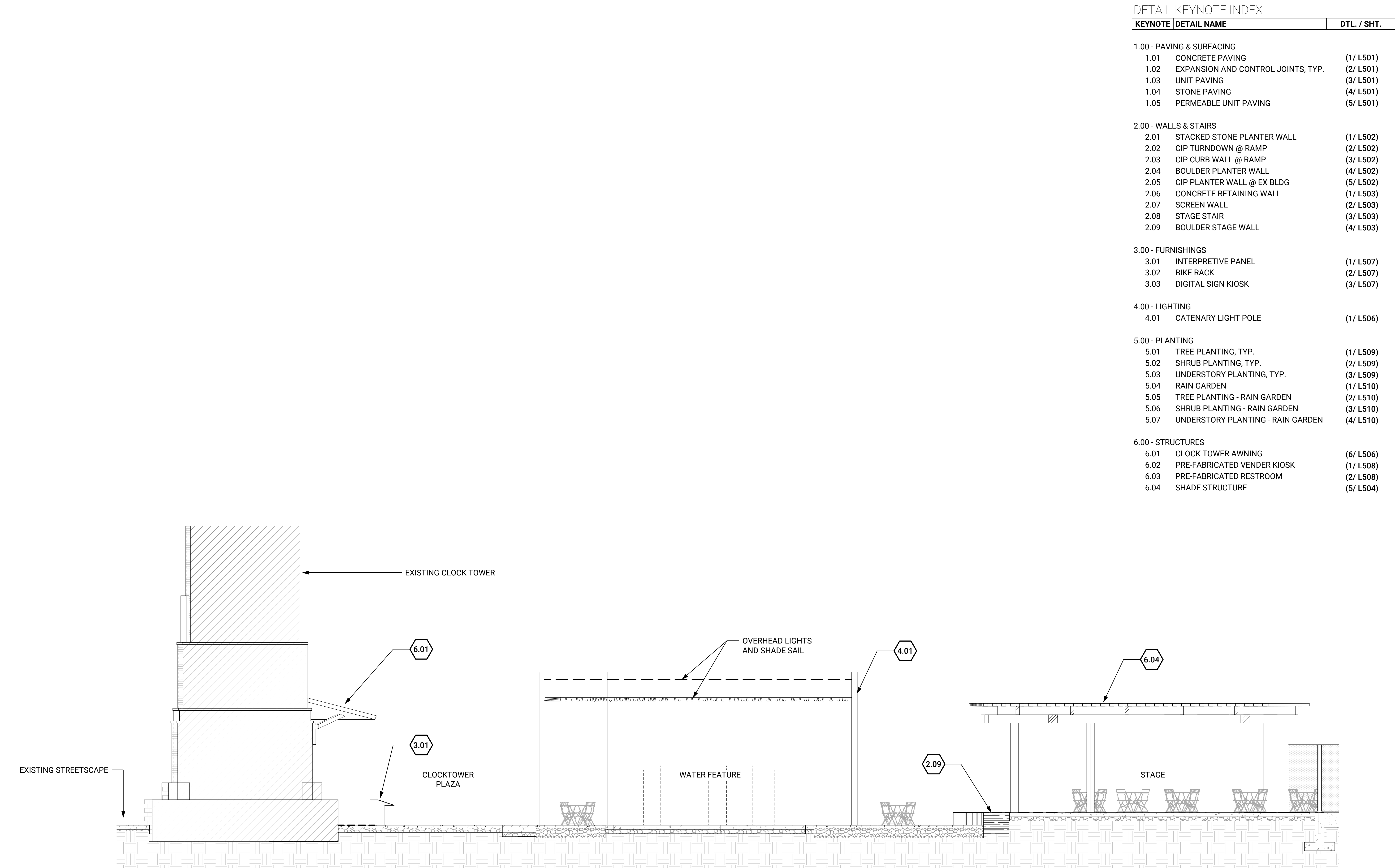
DRAWN BY: CM, MRW
CHECKED BY: WV

SHEET TITLE

PLANTING PLAN

SHEET NUMBER

L301



1 SITE TRANSECT
3/16" = 1'-0"



DETAIL KEYNOTE INDEX		
KEYNOTE	DETAIL NAME	DTL. / SHT.
1.00 - PAVING & SURFACING		
1.01	CONCRETE PAVING	(1/ L501)
1.02	EXPANSION AND CONTROL JOINTS, TYP.	(2/ L501)
1.03	UNIT PAVING	(3/ L501)
1.04	STONE PAVING	(4/ L501)
1.05	PERMEABLE UNIT PAVING	(5/ L501)
2.00 - WALLS & STAIRS		
2.01	STACKED STONE PLANTER WALL	(1/ L502)
2.02	CIP TURNDOWN @ RAMP	(2/ L502)
2.03	CIP CURB WALL @ RAMP	(3/ L502)
2.04	BOULDER PLANTER WALL	(4/ L502)
2.05	CIP PLANTER WALL @ EX BLDG	(5/ L502)
2.06	CONCRETE RETAINING WALL	(1/ L503)
2.07	SCREEN WALL	(2/ L503)
2.08	STAGE STAIR	(3/ L503)
2.09	BOULDER STAGE WALL	(4/ L503)
3.00 - FURNISHINGS		
3.01	INTERPRETIVE PANEL	(1/ L507)
3.02	BIKE RACK	(2/ L507)
3.03	DIGITAL SIGN KIOSK	(3/ L507)
4.00 - LIGHTING		
4.01	CATENARY LIGHT POLE	(1/ L506)
5.00 - PLANTING		
5.01	TREE PLANTING, TYP.	(1/ L509)
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5.07	UNDERSTORY PLANTING - RAIN GARDEN	(4/ L510)
6.00 - STRUCTURES		
6.01	CLOCK TOWER AWNING	(6/ L506)
6.02	PRE-FABRICATED VENDER KIOSK	(1/ L508)
6.03	PRE-FABRICATED RESTROOM	(2/ L508)
6.04	SHADE STRUCTURE	(5/ L504)



City of Cañon City
P.O. BOX 1460
CAÑON CITY, CO 81215



CLOCK TOWER PLAZA
232 MAIN STREET
CAÑON CITY, COLORADO

REVISIONS / SUBMISSIONS		
NO.	DATE	DESCRIPTION

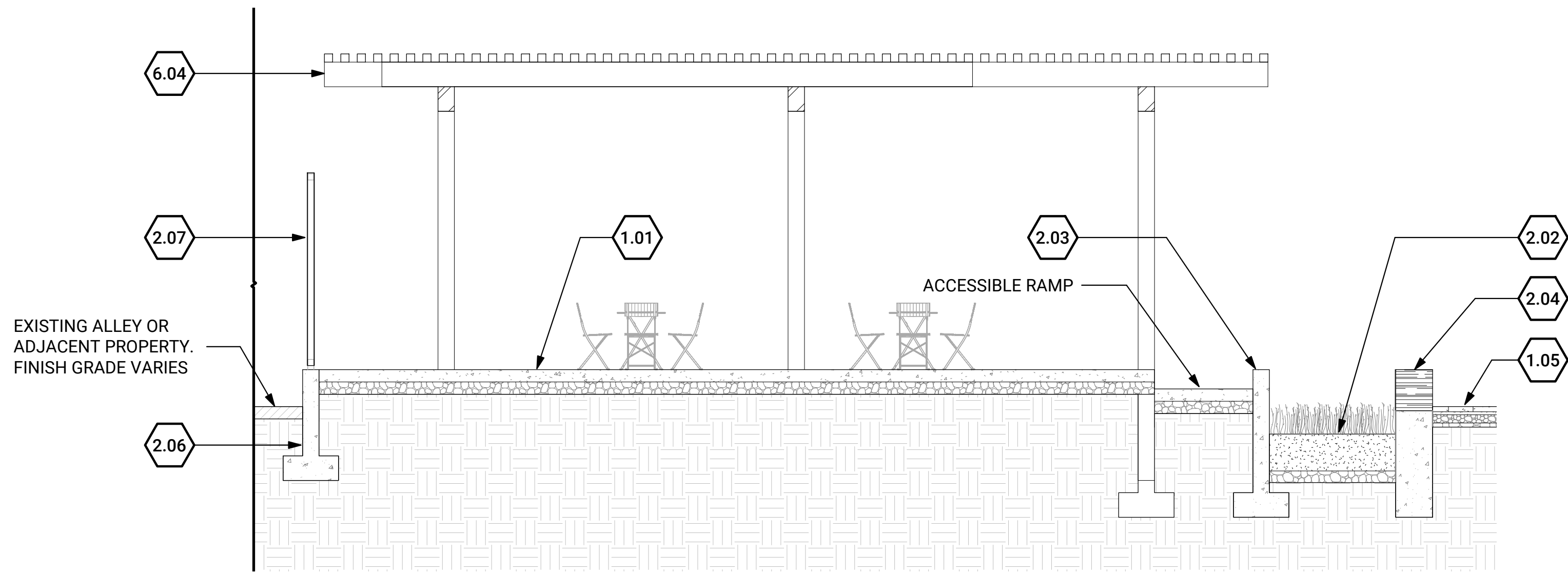
ISSUE
50% PROGRESS SET
DATE: 08/31/2023

**PROGRESS SET:
NOT FOR
CONSTRUCTION**

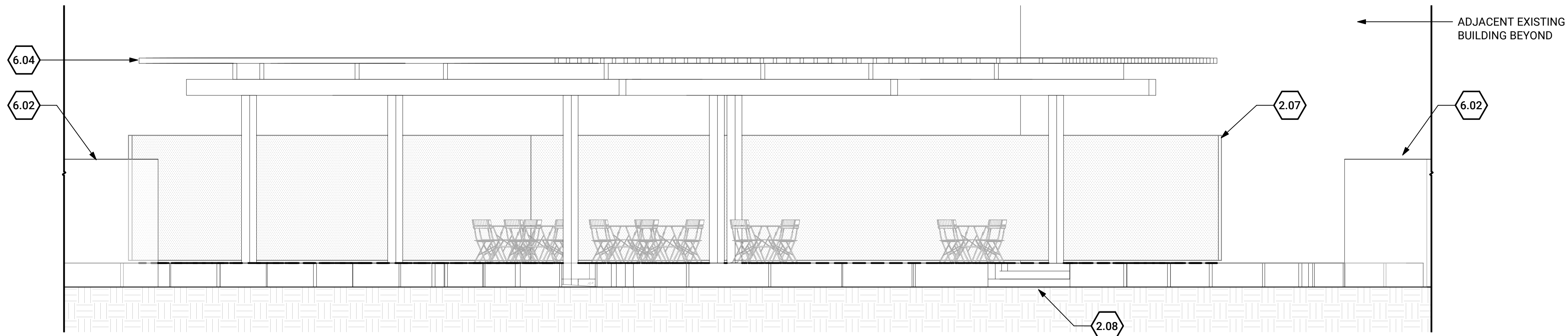
SHEET INFORMATION
DRAWN BY: CM, MRW
CHECKED BY: WV

SHEET TITLE
SITE SECTIONS

SHEET NUMBER
L401



1 STAGE
1/4" = 1'-0"



2 STAGE ELEVATION
1/4" = 1'-0"

DETAIL KEYNOTE INDEX

KEYNOTE	DETAIL NAME	DTL. / SHT.
1.00	PAVING & SURFACING	
1.01	CONCRETE PAVING	(1/ L501)
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2.03	CIP CURB WALL @ RAMP	(3/ L502)
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6.01	CLOCK TOWER AWNING	(6/ L506)
6.02	PRE-FABRICATED VENDER KIOSK	(1/ L508)
6.03	PRE-FABRICATED RESTROOM	(2/ L508)
6.04	SHADE STRUCTURE	(5/ L504)

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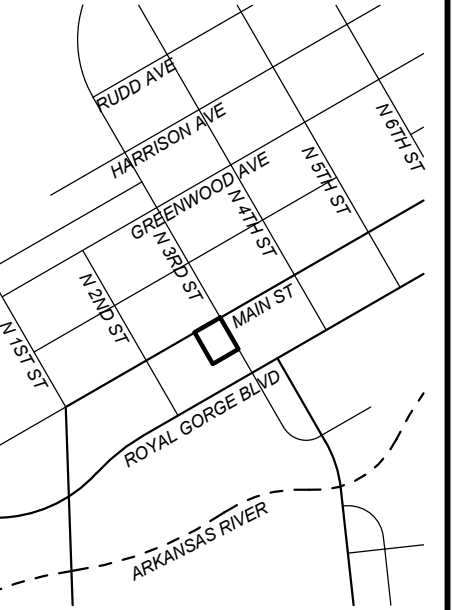
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City of Cañon City
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KEY PLAN



CLOCK TOWER PLAZA

232 MAIN STREET
CAÑON CITY, COLORADO

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION

ISSUE

50% PROGRESS SET

DATE: 08/31/2023

**PROGRESS SET:
NOT FOR
CONSTRUCTION**

SHEET INFORMATION

DRAWN BY: CM, MRW
CHECKED BY: WV

SHEET TITLE

SITE SECTIONS

SHEET NUMBER

L402

DETAIL KEYNOTE INDEX

KEYNOTE	DETAIL NAME	DTL. / SHT.
1.00 - PAVING & SURFACING		
1.01	CONCRETE PAVING	(1/ L501)
1.02	EXPANSION AND CONTROL JOINTS, TYP.	(2/ L501)
1.03	UNIT PAVING	(3/ L501)
1.04	STONE PAVING	(4/ L501)
1.05	PERMEABLE UNIT PAVING	(5/ L501)
2.00 - WALLS & STAIRS		
2.01	STACKED STONE PLANTER WALL	(1/ L502)
2.02	CIP TURNDOWN @ RAMP	(2/ L502)
2.03	CIP CURB WALL @ RAMP	(3/ L502)
2.04	BOULDER PLANTER WALL	(4/ L502)
2.05	CIP PLANTER WALL @ EX BLDG	(5/ L502)
2.06	CONCRETE RETAINING WALL	(1/ L503)
2.07	SCREEN WALL	(2/ L503)
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2.09	BOULDER STAGE WALL	(4/ L503)
3.00 - FURNISHINGS		
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3.03	DIGITAL SIGN KIOSK	(3/ L507)
4.00 - LIGHTING		
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6.04	SHADE STRUCTURE	(5/ L504)

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KEY PLAN



CLOCK TOWER
PLAZA

232 MAIN STREET
CAÑON CITY, COLORADO

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION

ISSUE

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DATE: 08/31/2023

PROGRESS SET:
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CONSTRUCTION

SHEET INFORMATION

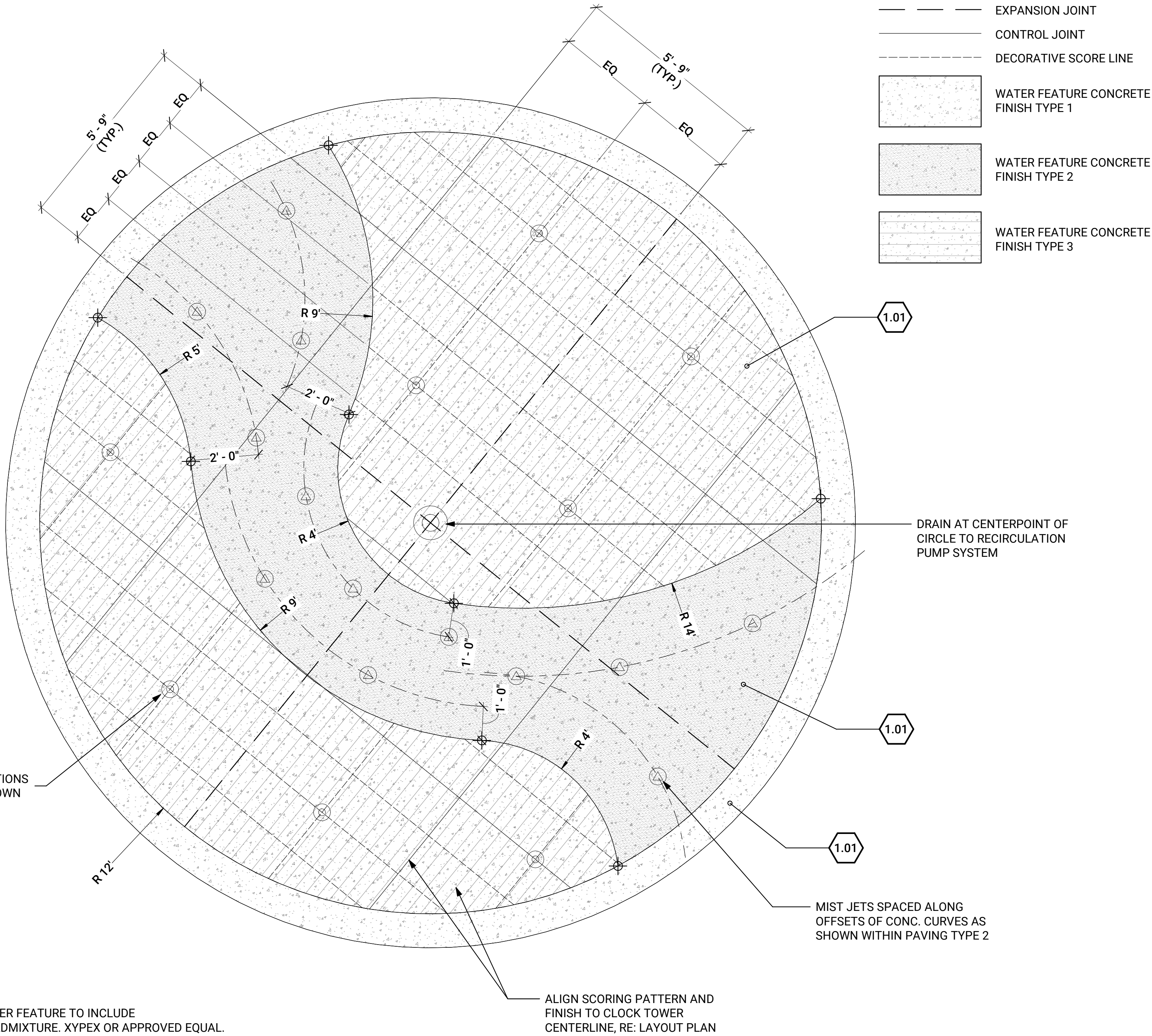
DRAWN BY: CM, MRW
CHECKED BY: WV

SHEET TITLE

WATER FEATURE
ENLARGEMENT PLAN

SHEET NUMBER

L403



NOTES:

1. CONCRETE AT WATER FEATURE TO INCLUDE WATERPROOFING ADMIXTURE. XYPEX OR APPROVED EQUAL.

1 PLAN ENLARGEMENT - WATER FEATURE
1/2" = 1'-0"





City of Cañon City
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CAÑON CITY, CO 81215



CLOCK TOWER PLAZA

232 MAIN STREET
CAÑON CITY, COLORADO

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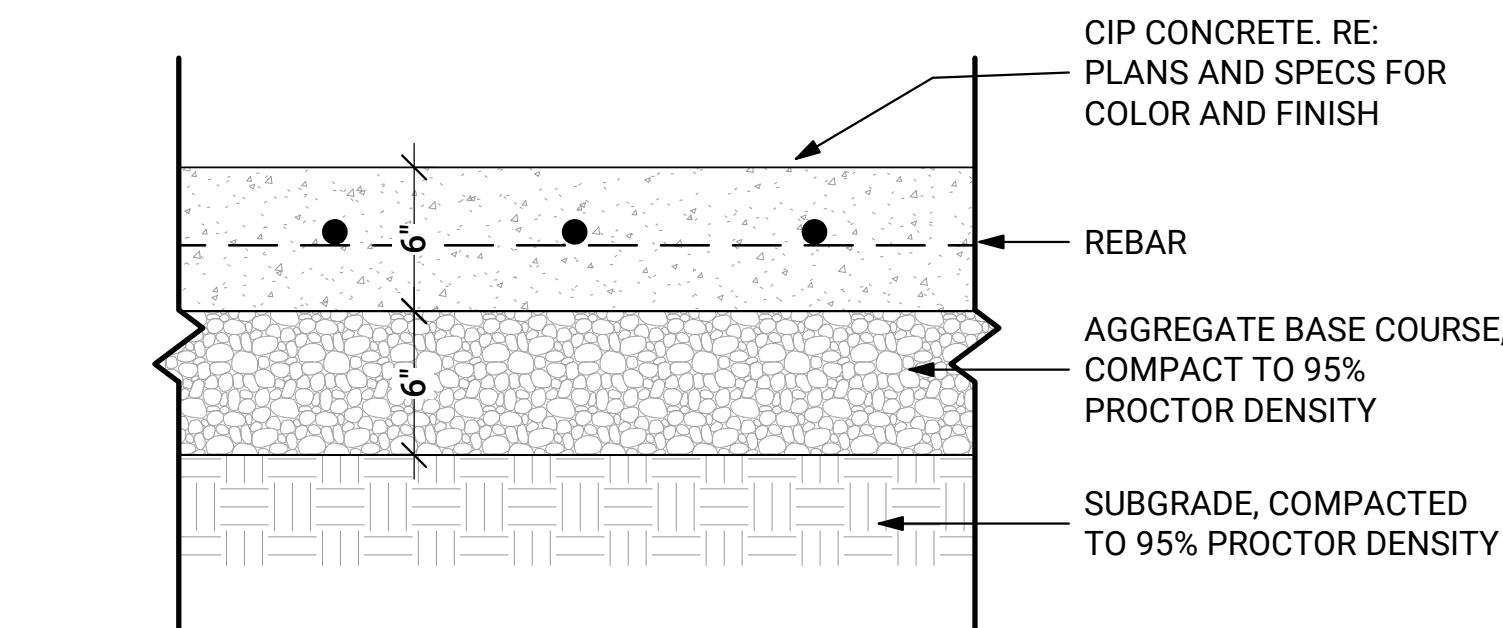
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PAVING & SURFACING
DETAILS

L501

DETAIL KEYNOTE INDEX

KEYNOTE	DETAIL NAME	DTL. / SHT.
1.00	PAVING & SURFACING	
1.01	CONCRETE PAVING	(1/ L501)
1.02	EXPANSION AND CONTROL JOINTS, TYP.	(2/ L501)
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6.03	PRE-FABRICATED RESTROOM	(2/ L508)
6.04	SHADE STRUCTURE	(5/ L504)

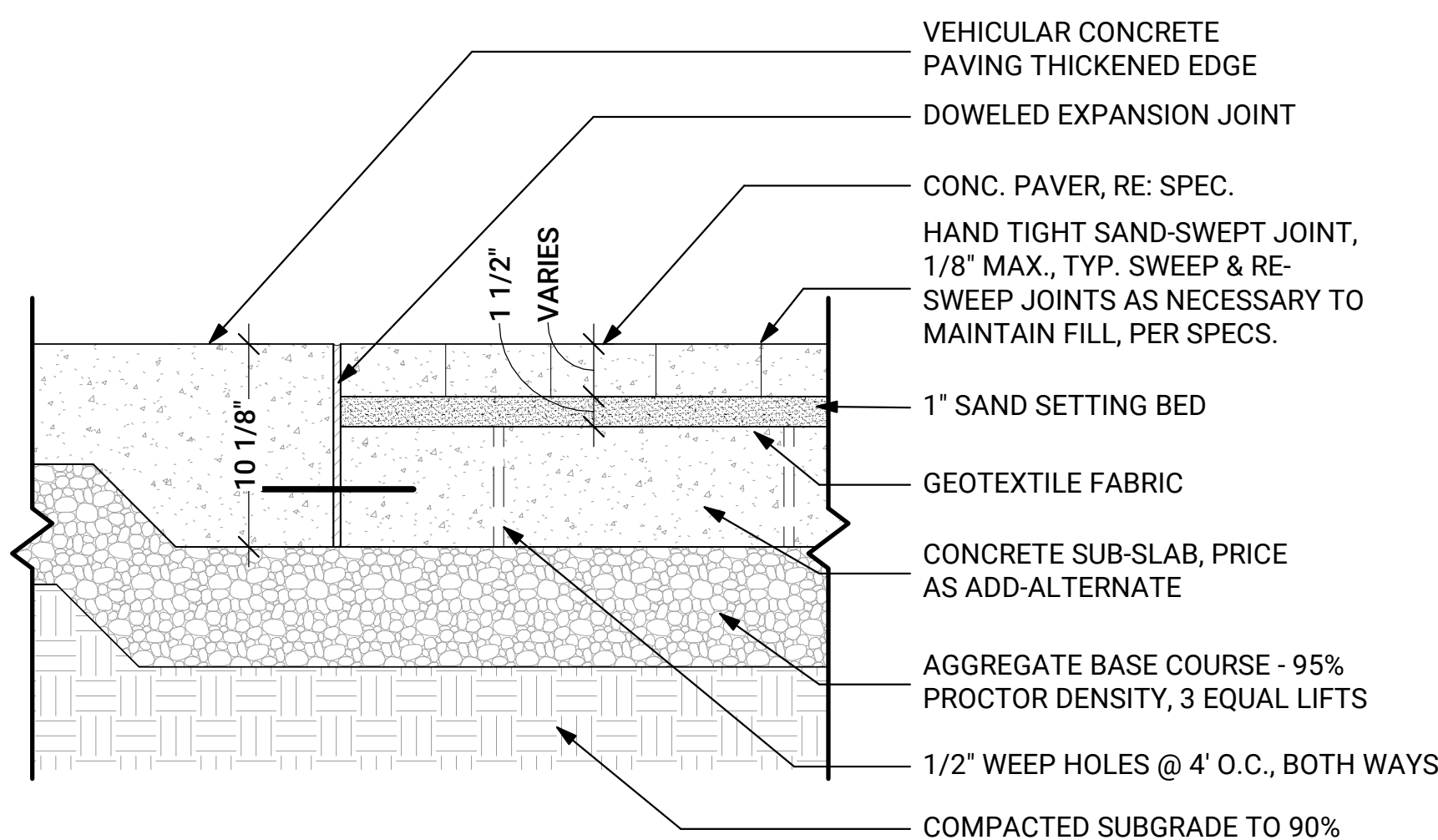


NOTES:

1. PROVIDE 1.5% SLOPE MIN. UNLESS OTHERWISE NOTED. MAX 1.8% CROSS SLOPE ON SIDEWALKS.
2. EXPANSION JOINTS AT 30'-0" O.C. MAXIMUM, AT SIDEWALK INTERSECTIONS AND WHERE CONCRETE PAVING ABUTS STRUCTURES, UNLESS OTHERWISE NOTED.
3. CONTROL JOINTS AT 6'-0" O.C. MAXIMUM AS TYPICAL.
4. SEE PLAN FOR EXPANSION AND CONTROL JOINT LOCATIONS.

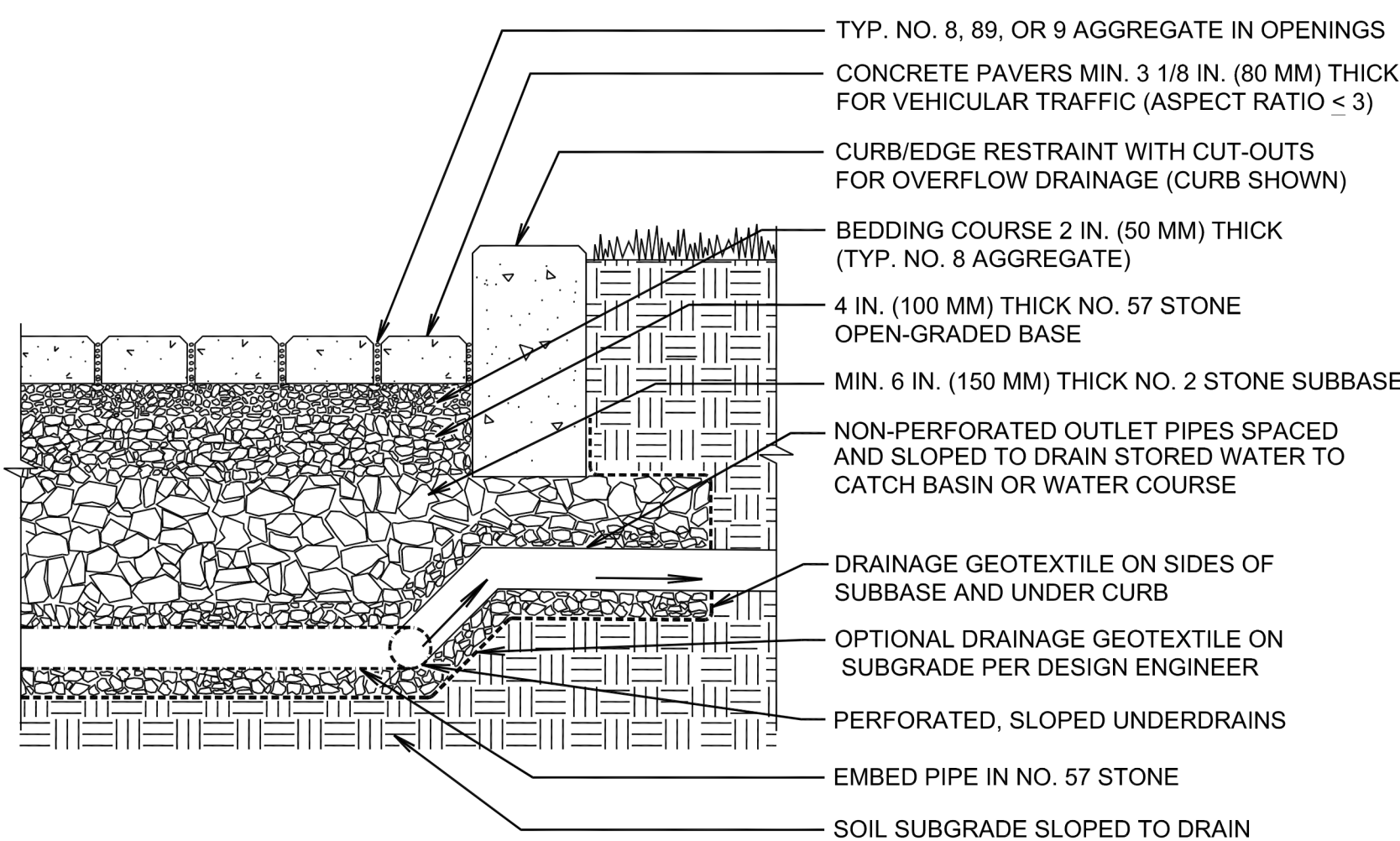
1 CONCRETE PAVING

1 1/2" = 1'-0"



3 UNIT PAVING

1 1/2" = 1'-0"

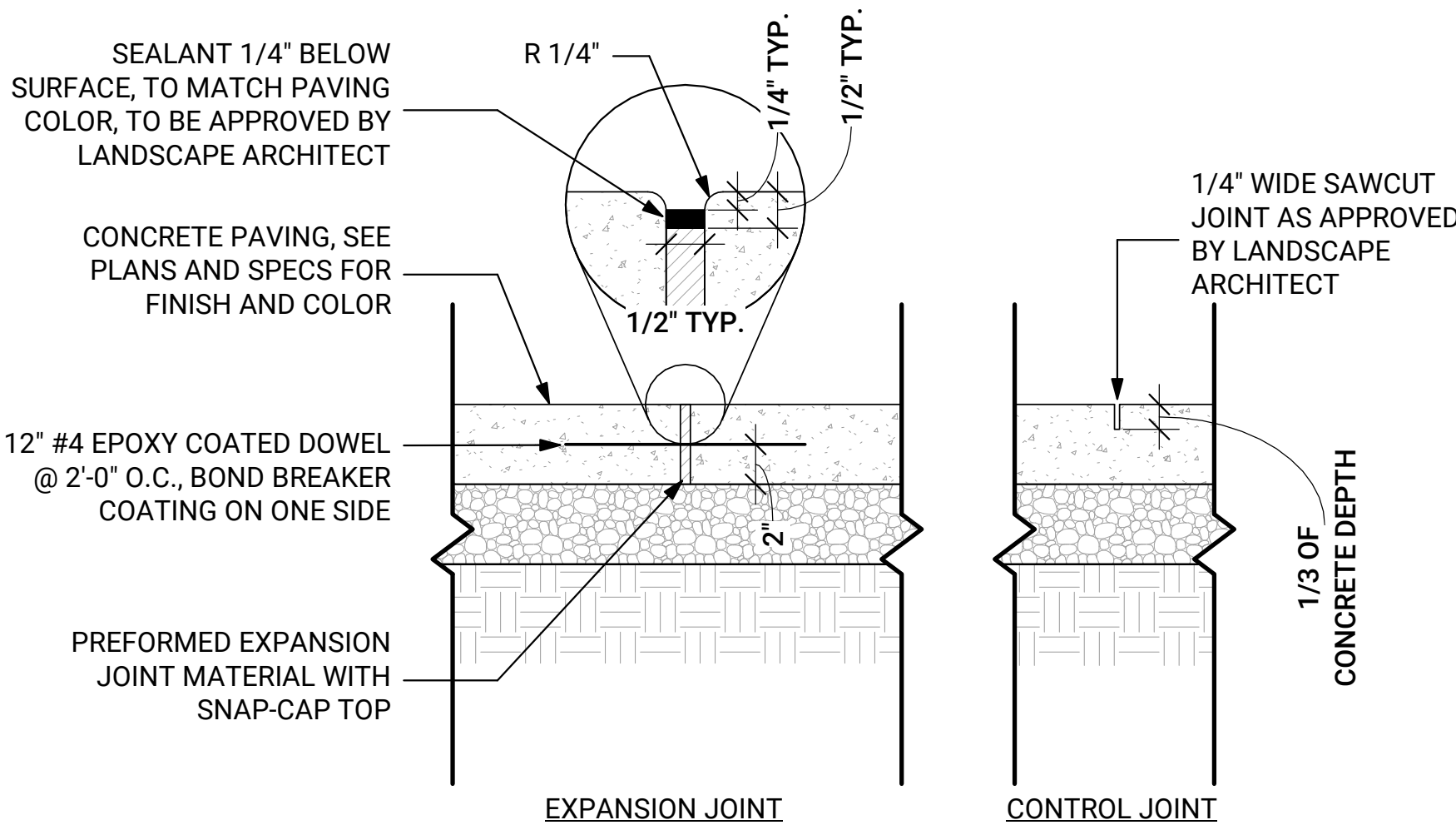


NOTES:

1. PAVER SIZE AND COLOR TO MATCH THOSE IN MAIN ST. ROW.
2. SUBMIT BRICK CUT SHEETS AND PROPOSED COLOR BLEND TO CITY FOR APPROVAL PRIOR TO INSTALLATION.
3. 2017 BRICKS PROVIDED BY SUMMIT BRICK COMPANY TO CITY USED 1/3 BLEND OF THE FOLLOWING BRICKS: JAMESTOWN LUGGED (NOT TUMBLED), ACADEMY GRAIN LUGGED PAVER, AND INCA RED LUGGED PAVER (ALL 4X8).

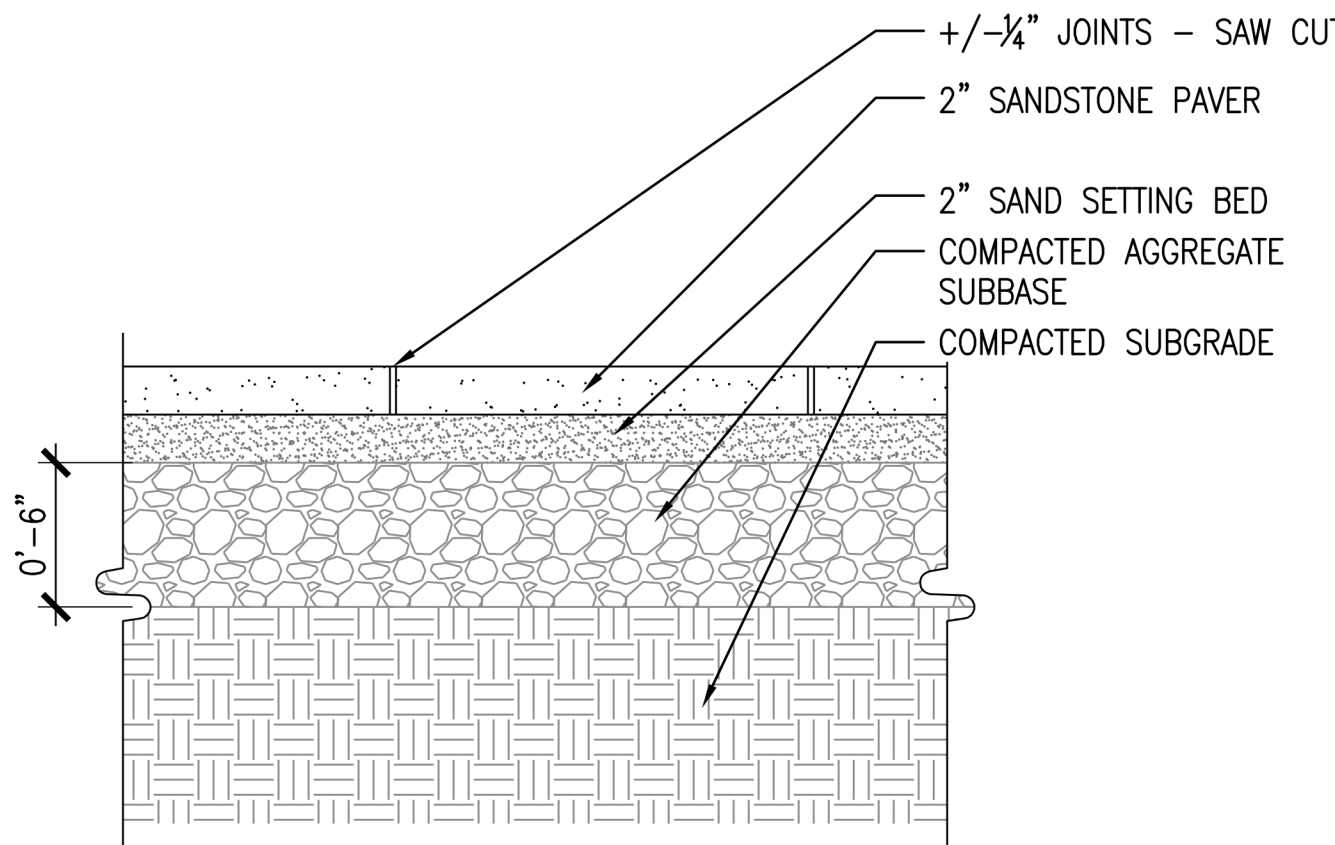
5 PERMEABLE UNIT PAVING

1 1/2" = 1'-0"



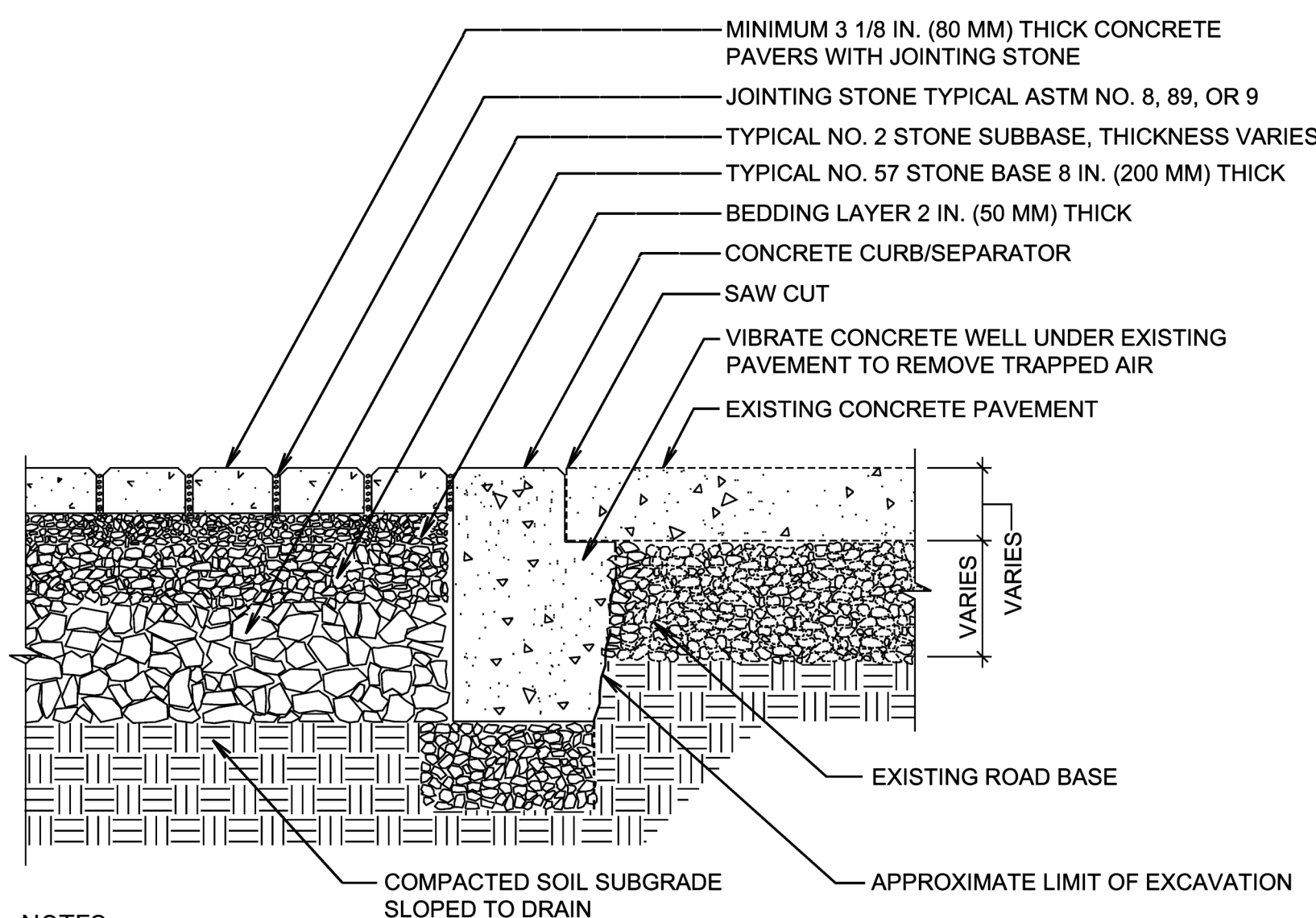
2 EXPANSION AND CONTROL JOINTS, TYP.

1 1/2" = 1'-0"



4 STONE PAVING

1 1/2" = 1'-0"

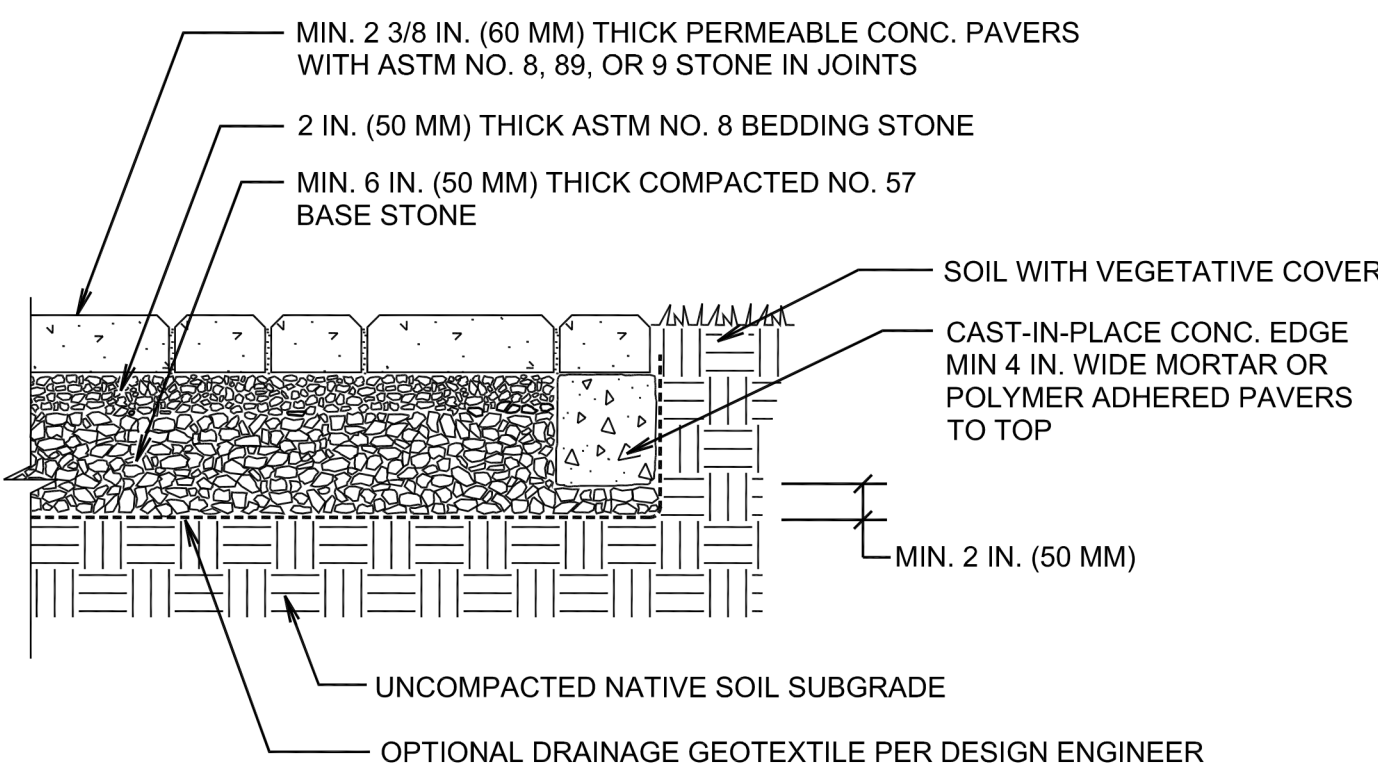


NOTES:

1. PAVER SIZE AND COLOR TO MATCH THOSE IN MAIN ST. ROW.
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6 PERMEABLE PAVEMENT TRANSITION TO CONCRETE

1 1/2" = 1'-0"



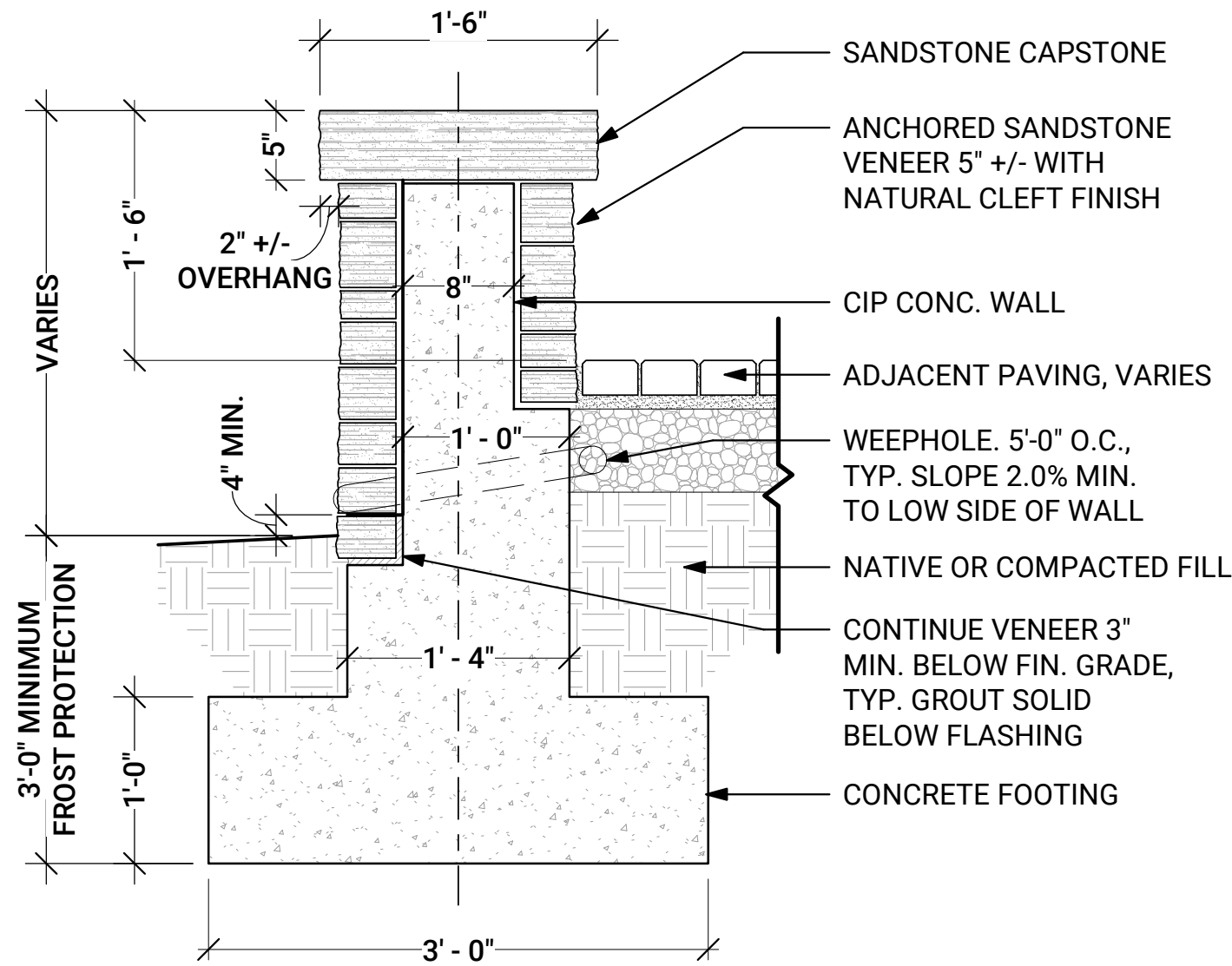
NOTES:

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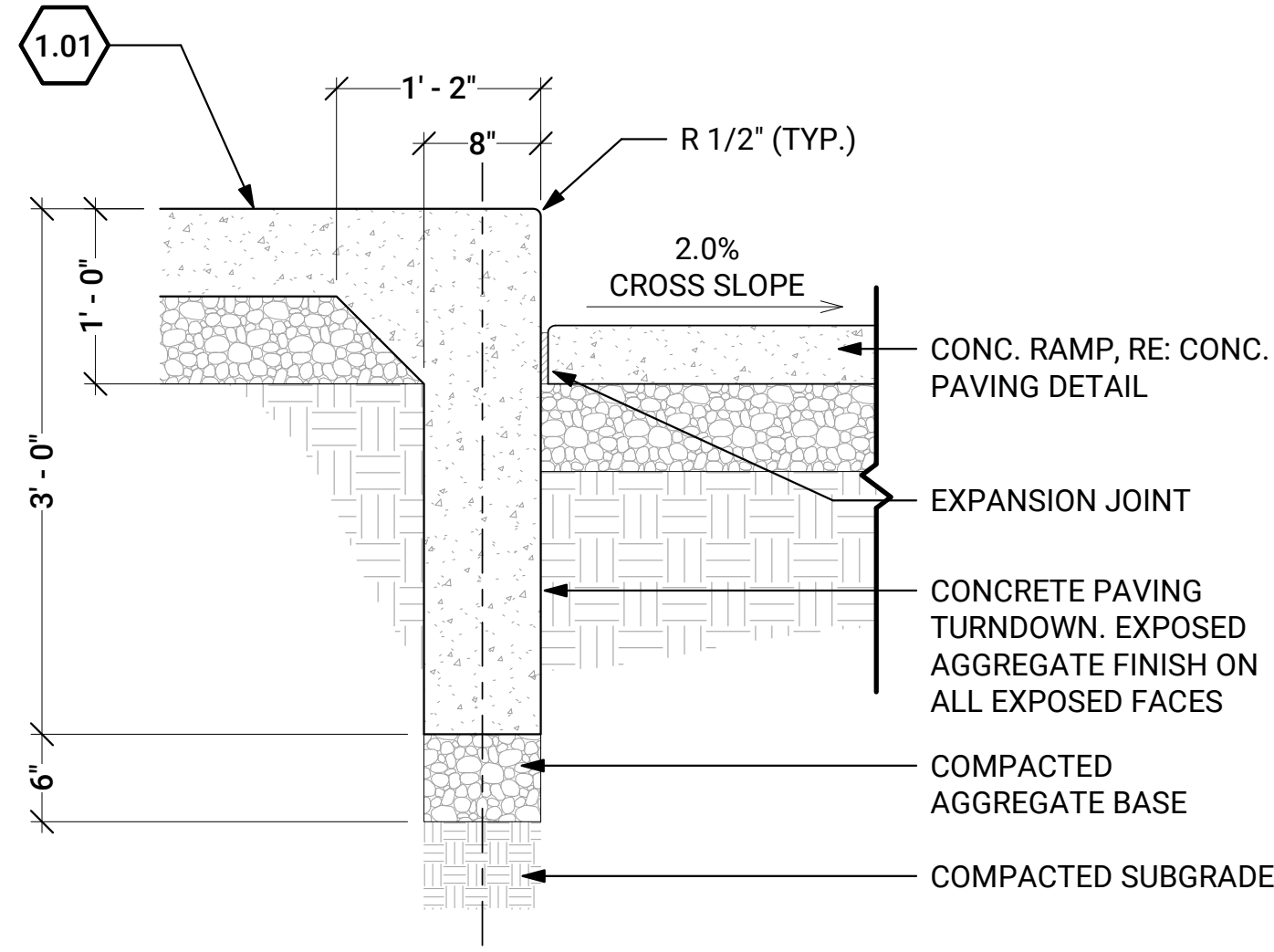
7 PERMEABLE PAVEMENT EDGE RESTRAINT

1 1/2" = 1'-0"

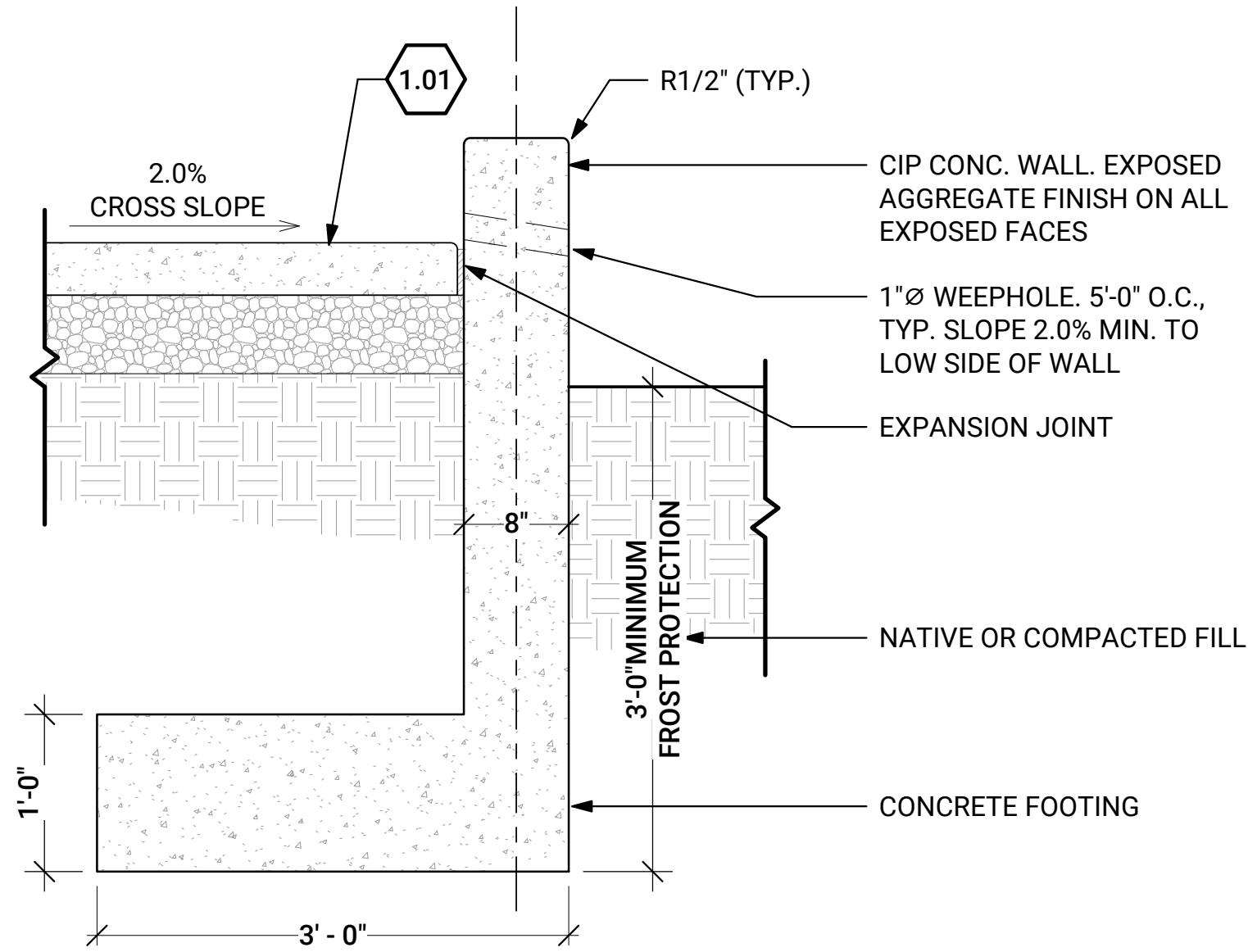
STRUCTURAL REINFORCEMENT NOTE:
STRUCTURAL DESIGN AND REINFORCEMENT FOR ALL CIP WALLS,
CURBS, AND PAVING TO BE INCLUDED IN LATER DESIGN PHASE. #4 12"
OC CONT, TRANS AND VERT ASSUMED FOR ALL WALLS.



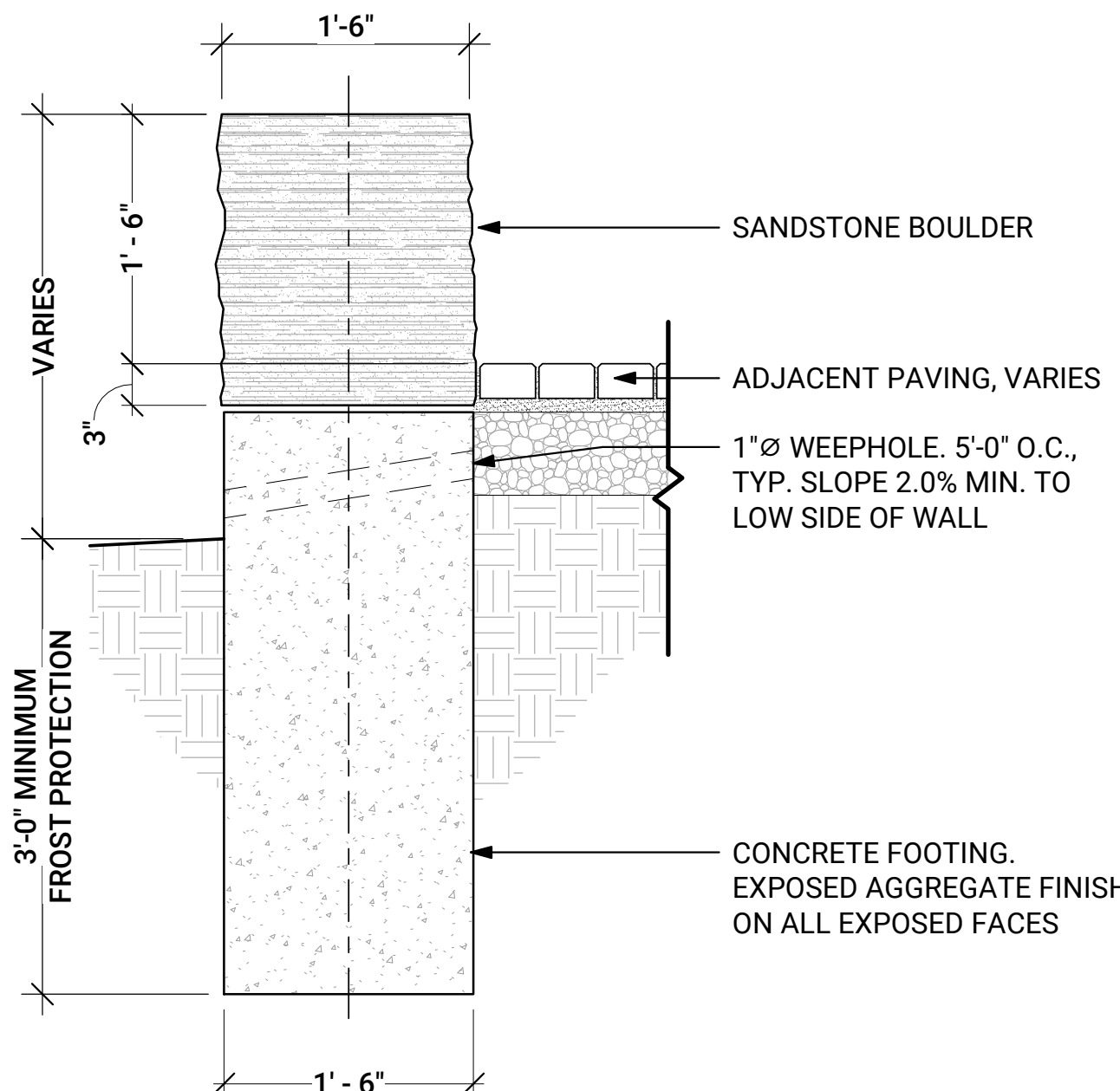
1 STACKED STONE PLANTER WALL
1" = 1'-0"



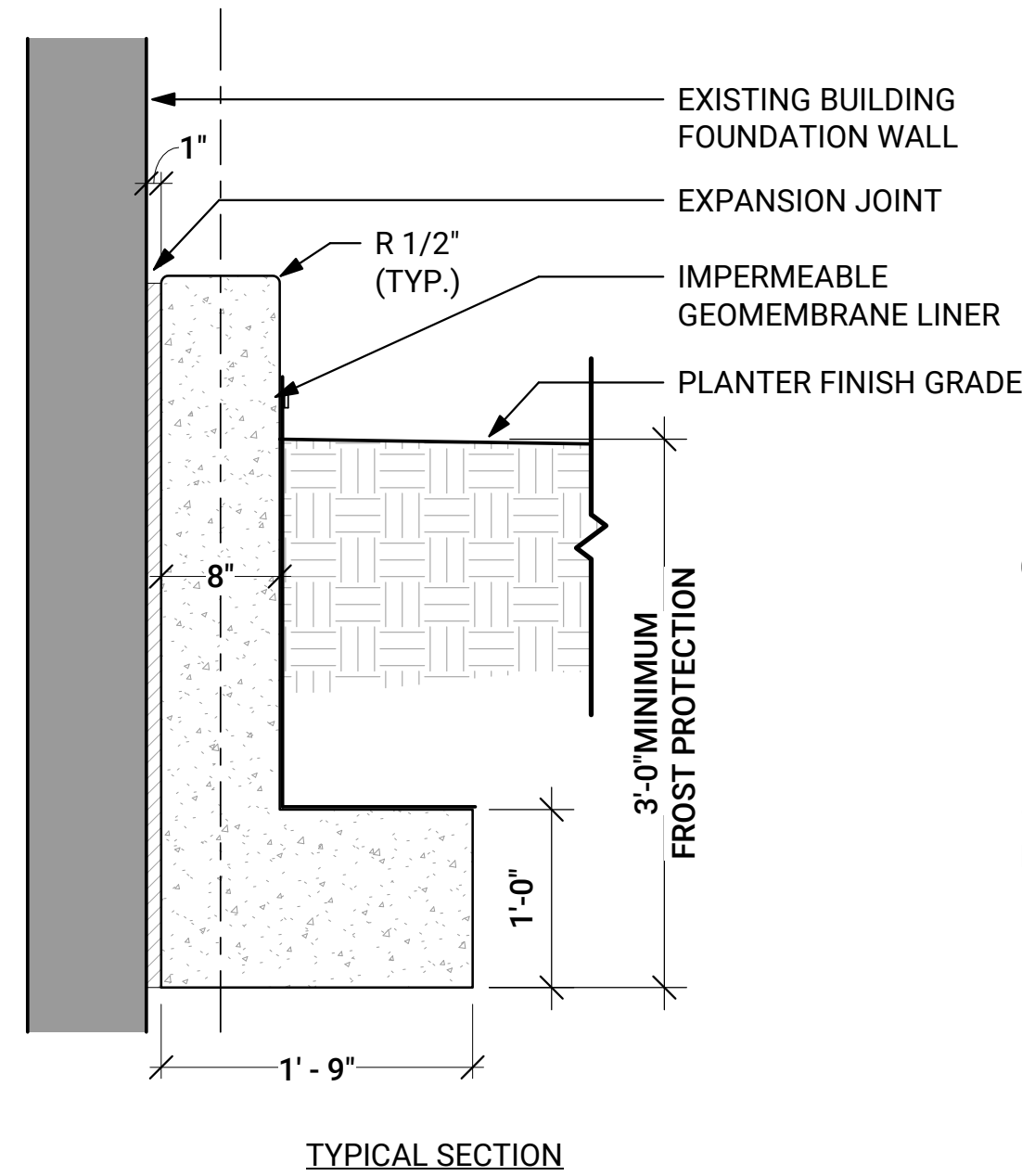
2 CIP TURNDOWN @ RAMP
1" = 1'-0"



3 CIP CURB WALL @ RAMP
1" = 1'-0"



4 BOULDER PLANTER WALL
1" = 1'-0"



5 CIP PLANTER WALL @ EX BLDG
1" = 1'-0"

DETAIL KEYNOTE INDEX

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KEY PLAN



CLOCK TOWER
PLAZA
232 MAIN STREET
CAÑON CITY, COLORADO

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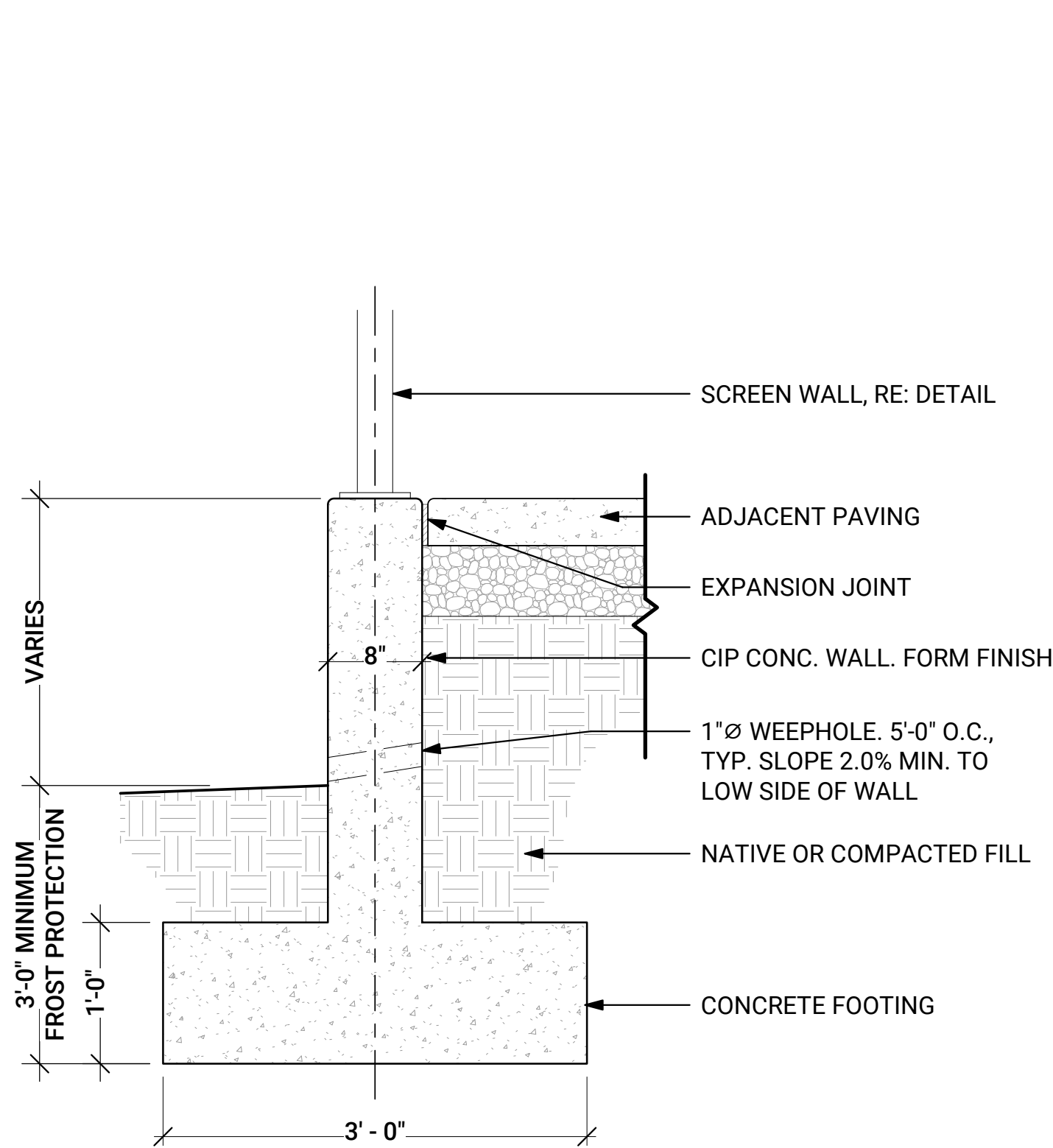
SHEET TITLE

WALL & STAIR DETAILS

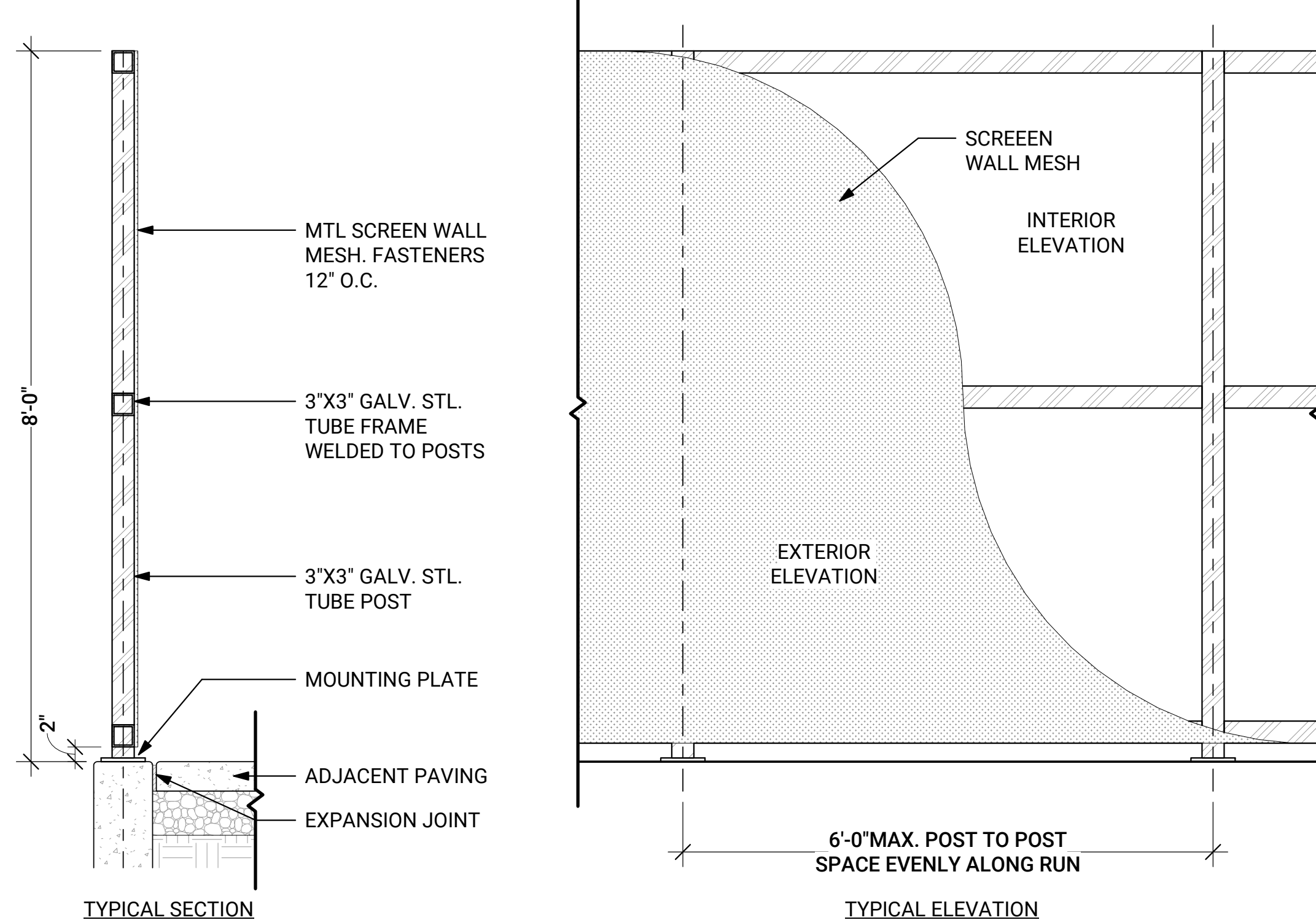
SHEET NUMBER

L502



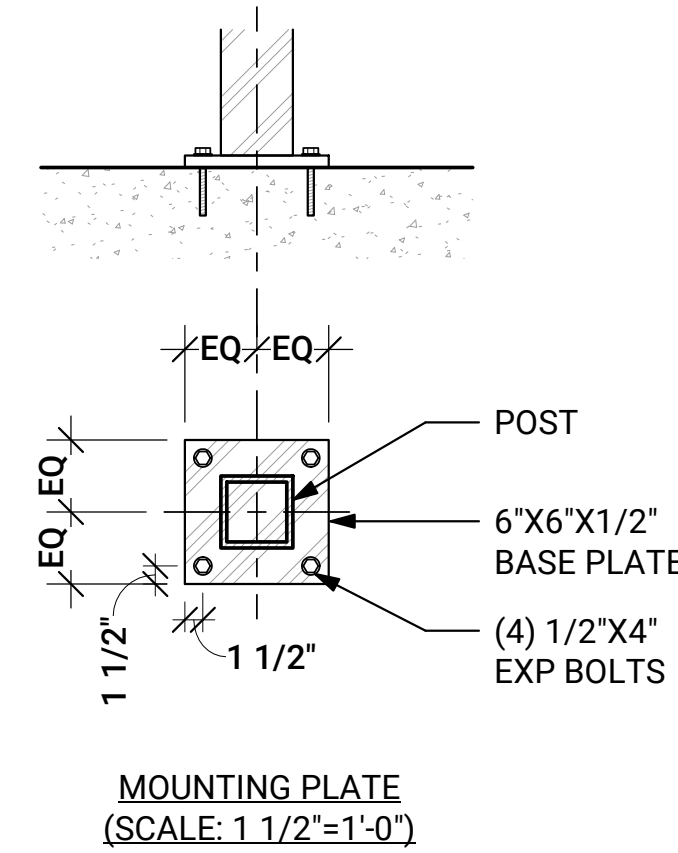


1 CONCRETE RETAINING WALL
1" = 1'-0"



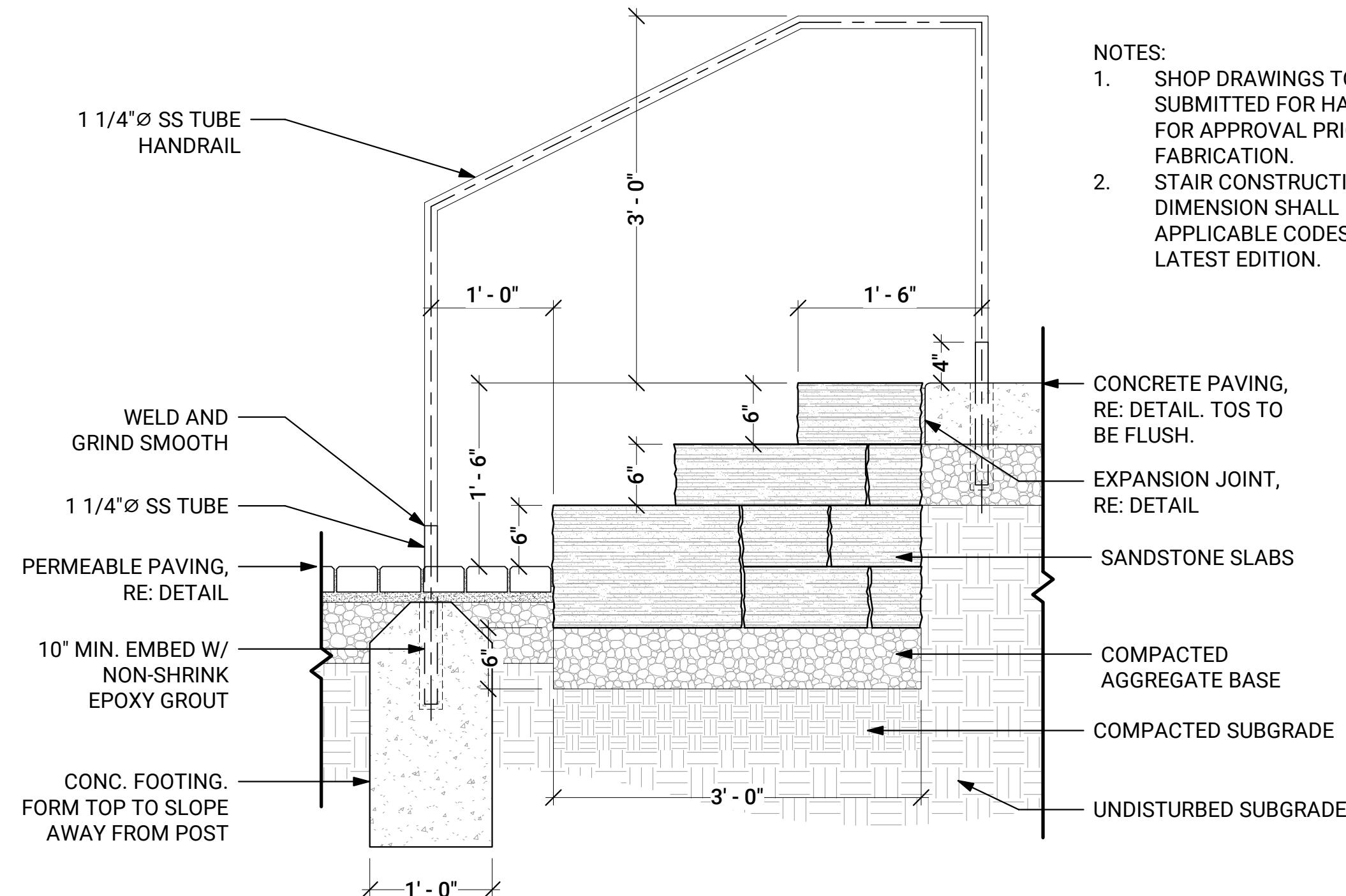
2 SCREEN WALL
3/4" = 1'-0"

- NOTES:
1. STEEL ELEMENTS TO BE SHOP GALVANIZED PRIOR TO FINISHING. SHARP STEEL CORNERS AND/OR CUT EDGES SHALL BE GORUND ROUND AND SMOOTH
 2. GRIND SMOOTH ALL WELD CONNECTIONS AND REMOVE ANY WELD SPLATTER
 3. WIDTH / LENGTH OF CERTAIN ELEMENTS IS ADJUSTABLE/ CONSULT LANDSCAPE ARCHITECT
 4. PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT FOR REVIEW BEFORE ORDERING MATERIALS OR FABRICATING ELEMENTS

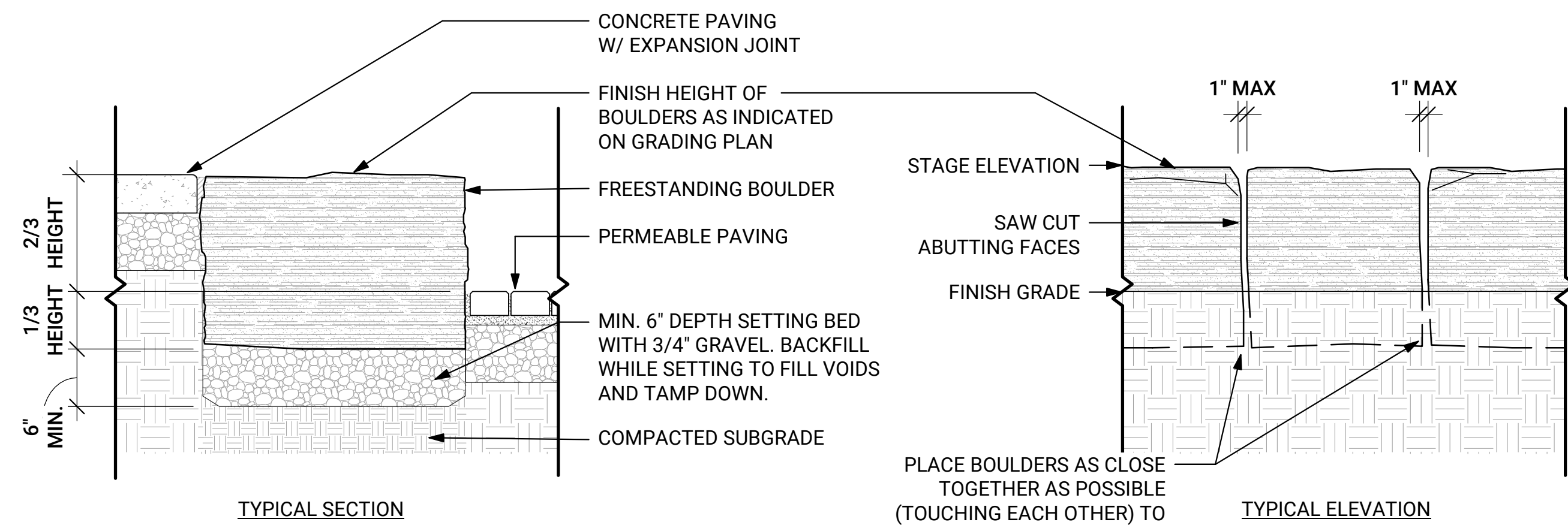


TYPICAL ELEVATION

KEYNOTE	DETAIL NAME	DTL. / SHT.
1.00	PAVING & SURFACING	
1.01	CONCRETE PAVING	(1/ L501)
1.02	EXPANSION AND CONTROL JOINTS, TYP.	(2/ L501)
1.03	UNIT PAVING	(3/ L501)
1.04	STONE PAVING	(4/ L501)
1.05	PERMEABLE UNIT PAVING	(5/ L501)
2.00	WALLS & STAIRS	
2.01	STACKED STONE PLANTER WALL	(1/ L502)
2.02	CIP TURNDOWN @ RAMP	(2/ L502)
2.03	CIP CURB WALL @ RAMP	(3/ L502)
2.04	BOULDER PLANTER WALL	(4/ L502)
2.05	CIP PLANTER WALL @ EX BLDG	(5/ L502)
2.06	CONCRETE RETAINING WALL	(1/ L503)
2.07	SCREEN WALL	(2/ L503)
2.08	STAGE STAIR	(3/ L503)
2.09	BOULDER STAGE WALL	(4/ L503)
3.00	FURNISHINGS	
3.01	INTERPRETIVE PANEL	(1/ L507)
3.02	BIKE RACK	(2/ L507)
3.03	DIGITAL SIGN KIOSK	(3/ L507)
4.00	LIGHTING	
4.01	CATENARY LIGHT POLE	(1/ L506)
5.00	PLANTING	
5.01	TREE PLANTING, TYP.	(1/ L509)
5.02	SHRUB PLANTING, TYP.	(2/ L509)
5.03	UNDERSTORY PLANTING, TYP.	(3/ L509)
5.04	RAIN GARDEN	(1/ L510)
5.05	TREE PLANTING - RAIN GARDEN	(2/ L510)
5.06	SHRUB PLANTING - RAIN GARDEN	(3/ L510)
5.07	UNDERSTORY PLANTING - RAIN GARDEN	(4/ L510)
6.00	STRUCTURES	
6.01	CLOCK TOWER AWNING	(6/ L506)
6.02	PRE-FABRICATED VENDER KIOSK	(1/ L508)
6.03	PRE-FABRICATED RESTROOM	(2/ L508)
6.04	SHADE STRUCTURE	(5/ L504)



3 STAGE STAIR
1" = 1'-0"



4 BOULDER STAGE WALL
1" = 1'-0"

- NOTES:
1. PLACE BOULDERS TO CONFIGURATIONS AND LOCATION AS SHOWN ON PLANS
 2. CONTRACTOR TO STAKE LOCATIONS W/ WOODEN STAKE (W/SIZE NOTED). STAKED LOCATIONS SHALL BE APPROVED PRIOR TO INSTALLATION BY LANDSCAPE ARCHITECT OR OWNER.
 3. DO NOT FRACTURE BOULDER DURING PLACEMENT, SUCH ACTION SHALL BE CAUSE FOR REJECTION
 4. WASH OFF BOULDERS COMPLETELY AFTER PLACEMENT

PLACE BOULDERS AS CLOSE TOGETHER AS POSSIBLE (TOUCHING EACH OTHER) TO MINIMIZE GAPS. VOIDS NOT TO EXCEED 2". FIELD ADJUST WITH LANDSCAPE ARCHITECT AND OWNER'S APPROVAL



City of Cañon City
P.O. BOX 1460
CAÑON CITY, CO 81215



CLOCK TOWER PLAZA

232 MAIN STREET
CAÑON CITY, COLORADO

NO.	DATE	DESCRIPTION

50% PROGRESS SET

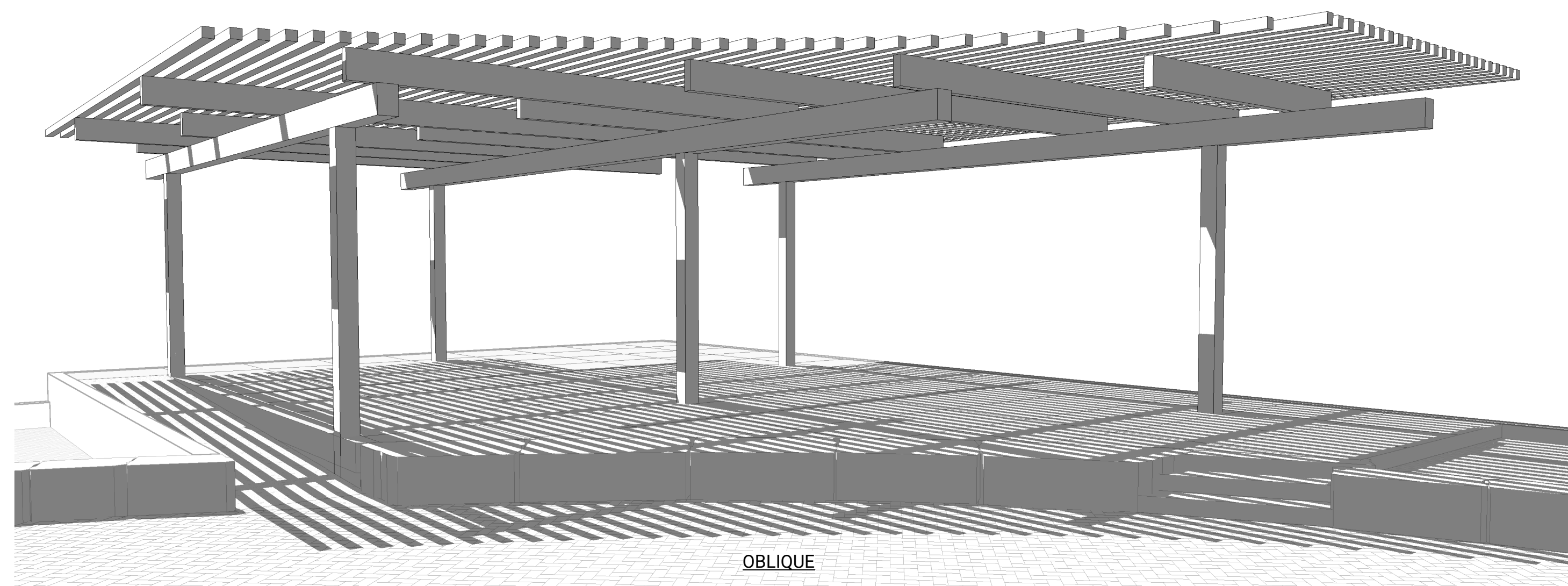
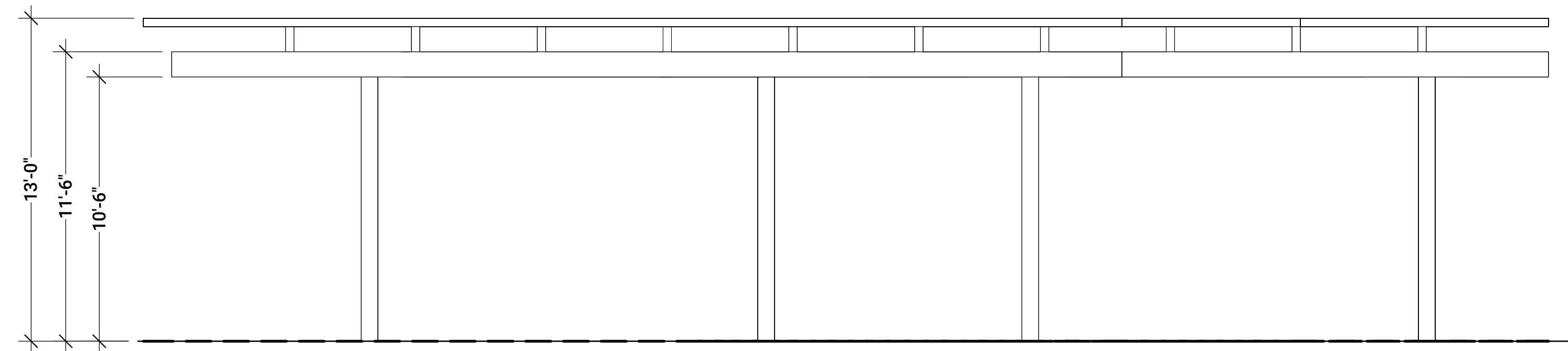
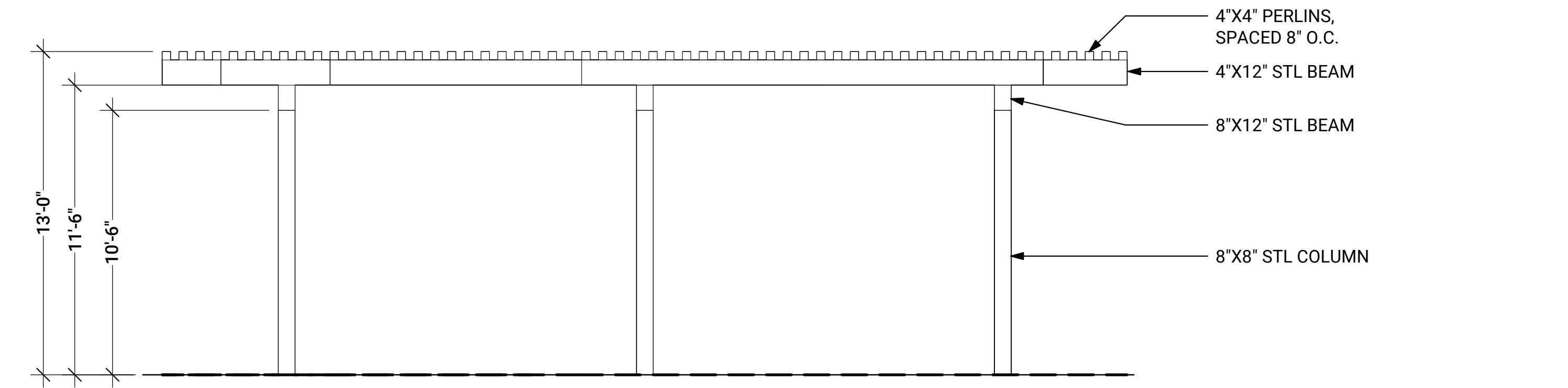
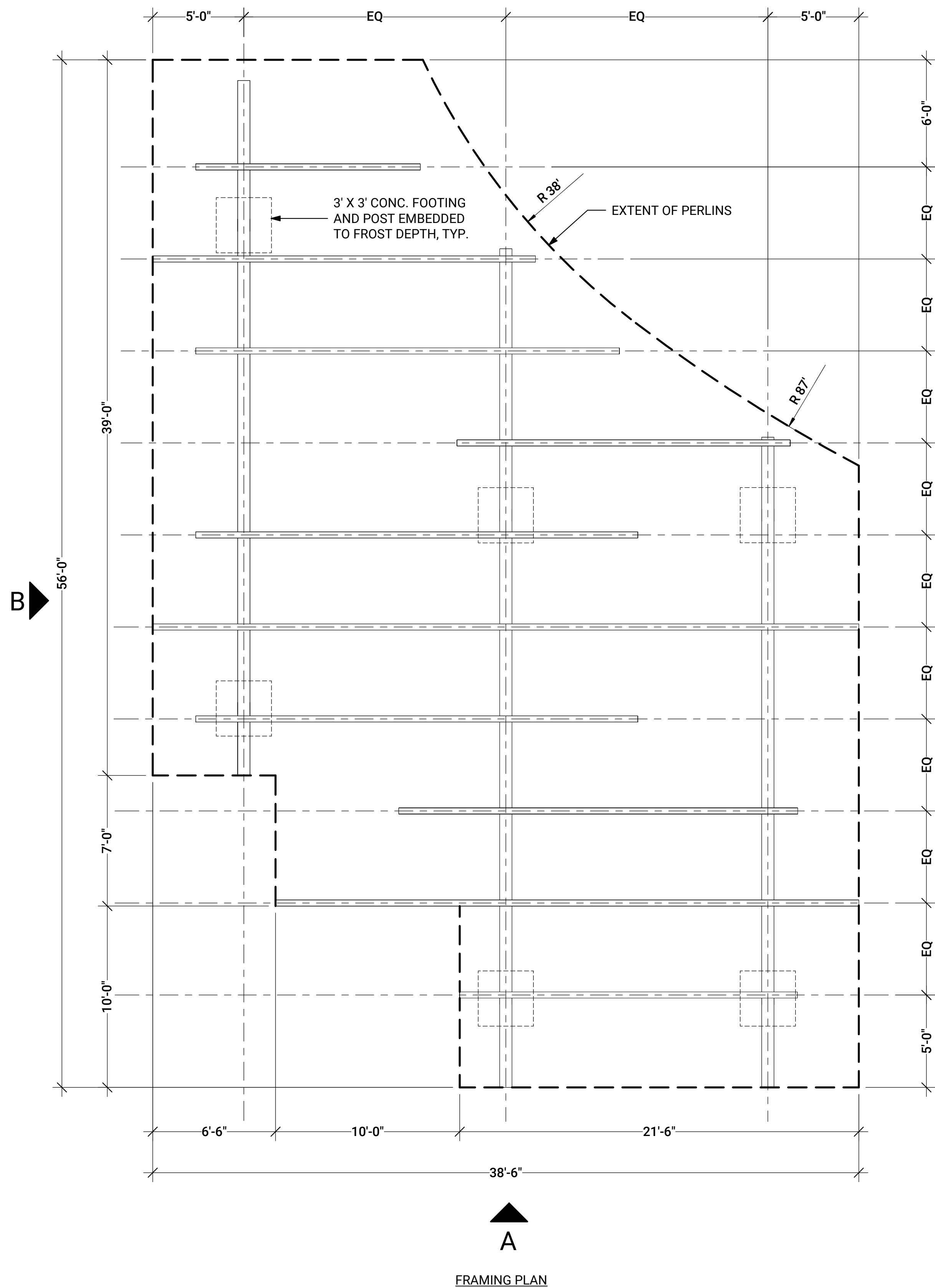
DATE: 08/31/2023

**PROGRESS SET:
NOT FOR
CONSTRUCTION**

DRAWN BY: CM, MRW
CHECKED BY: WV

WALL & STAIR DETAILS

L503



5 SHADE STRUCTURE

12" = 1'-0"



**LIVABLE
CITIESTUDIO**

3827 Lafayette Street #135
Denver, CO 80205
t. 303.800.2201
www.livableciestudio.com

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KEY PLAN



CLOCK TOWER PLAZA

232 MAIN STREET
CAÑON CITY, COLORADO

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION

ISSUE

50% PROGRESS SET

DATE: 08/31/2023

**PROGRESS SET:
NOT FOR
CONSTRUCTION**

SHEET INFORMATION

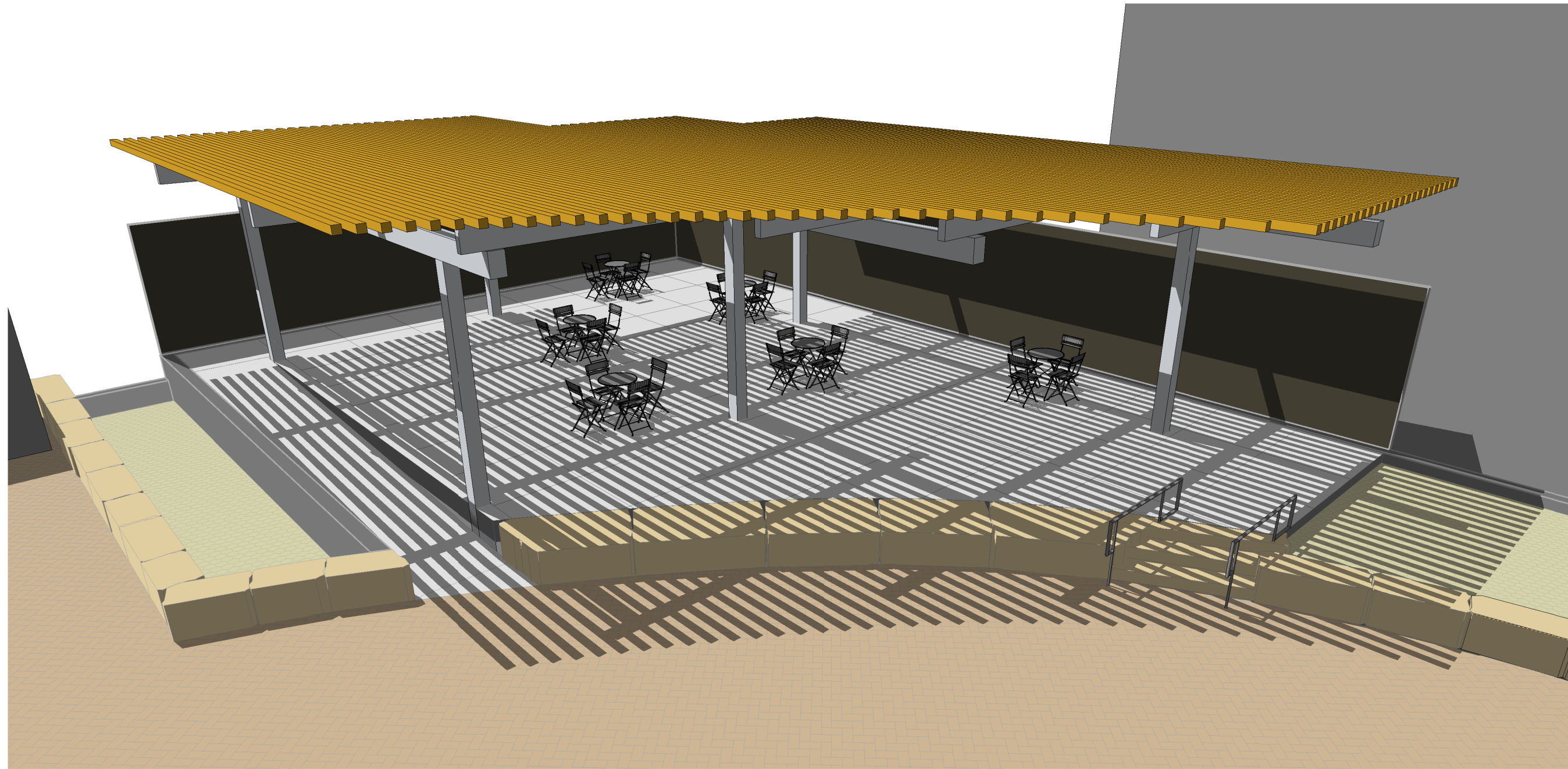
DRAWN BY: CM, MRW
CHECKED BY: WV

SHEET TITLE

SHADE STRUCTURE
DETAILS

SHEET NUMBER

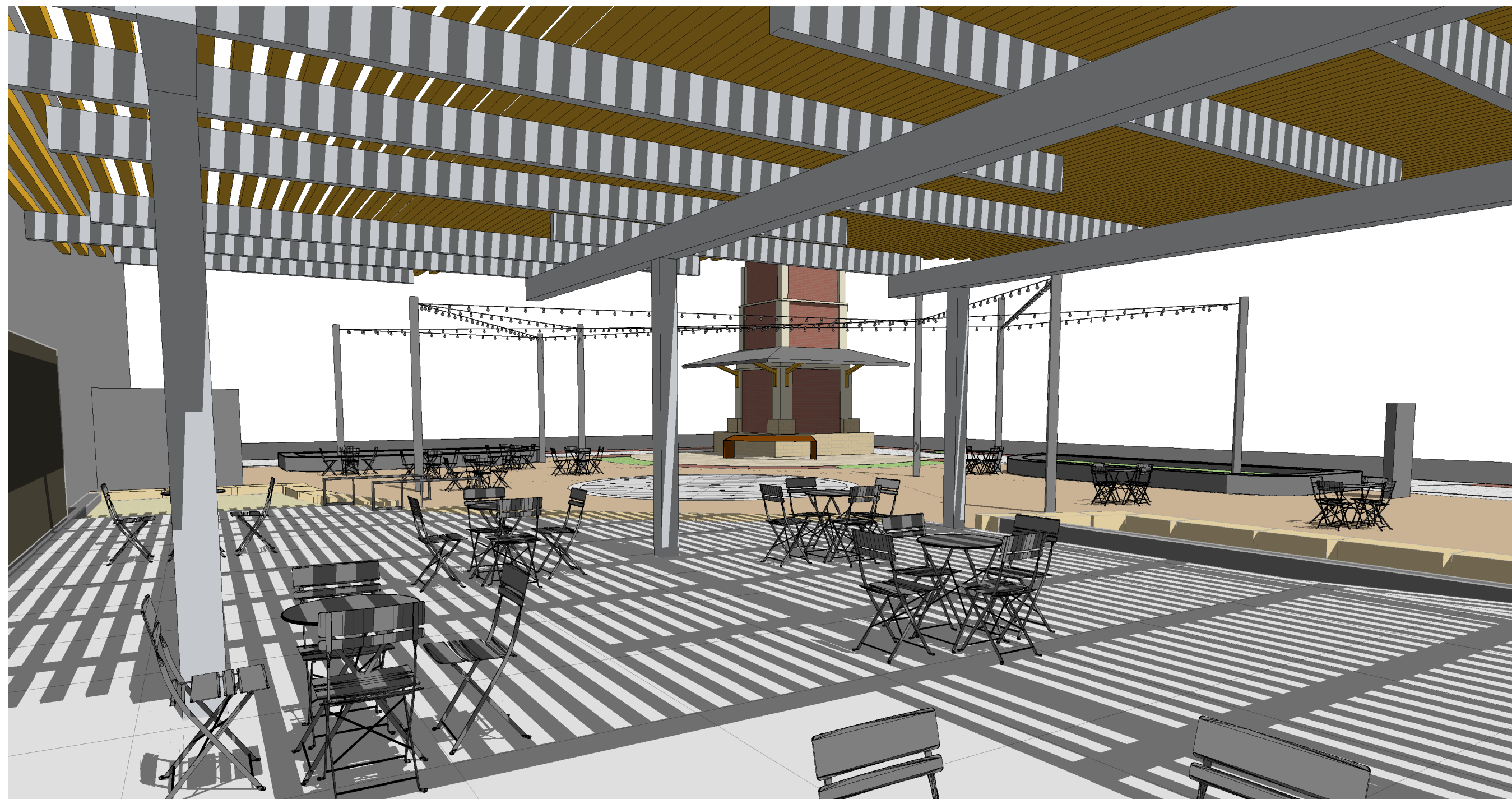
L504



1 SHADE STRUCTURE - OBLIQUE 2



3 SHADE STRUCTURE - OBLIQUE 4



2 SHADE STRUCTURE - OBLIQUE 3



CLOCK TOWER
PLAZA
232 MAIN STREET
CAÑON CITY, COLORADO

REVISIONS / SUBMISSIONS

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ISSUE

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DATE: 08/31/2023

PROGRESS SET:
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CONSTRUCTION

SHEET INFORMATION

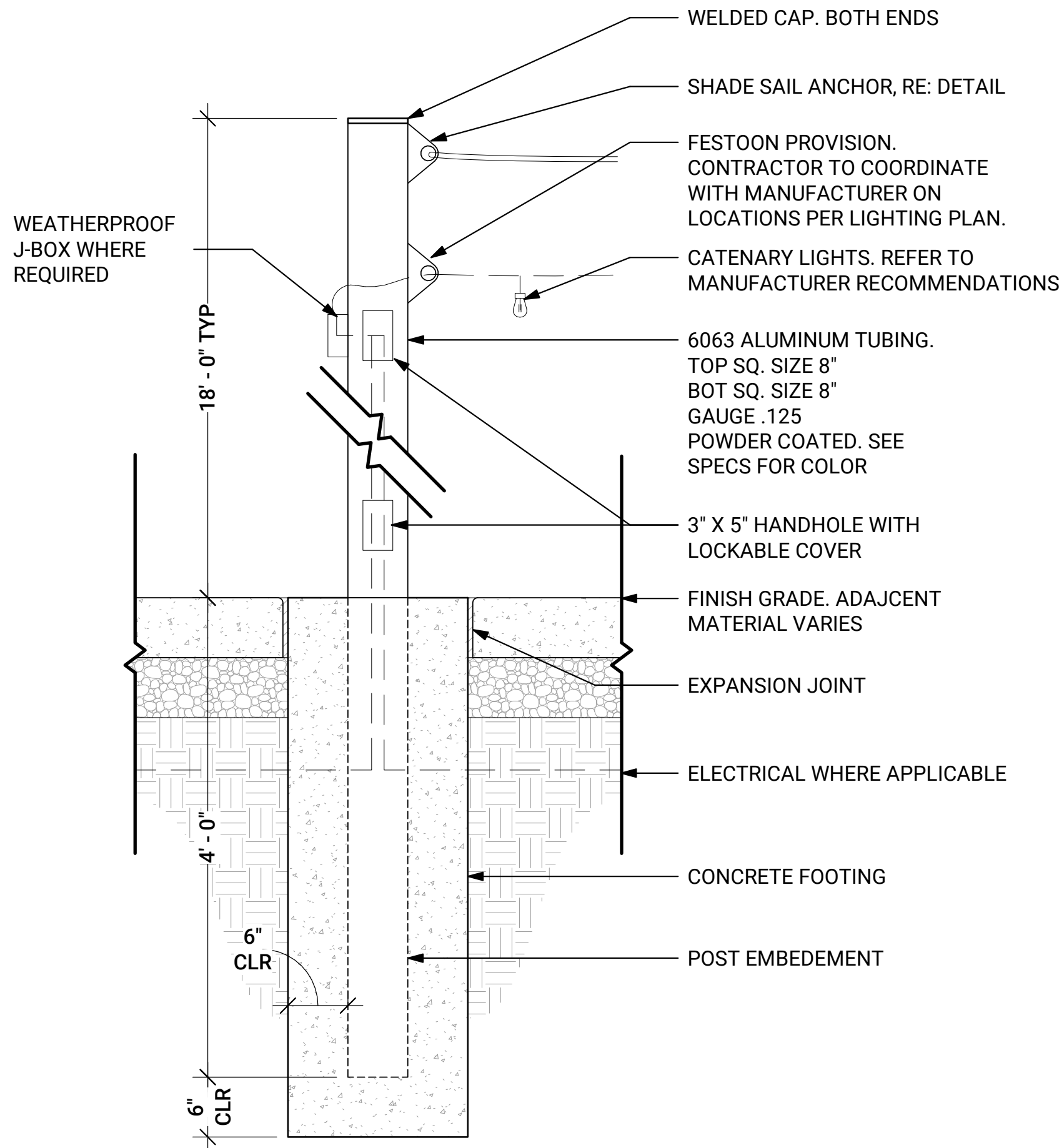
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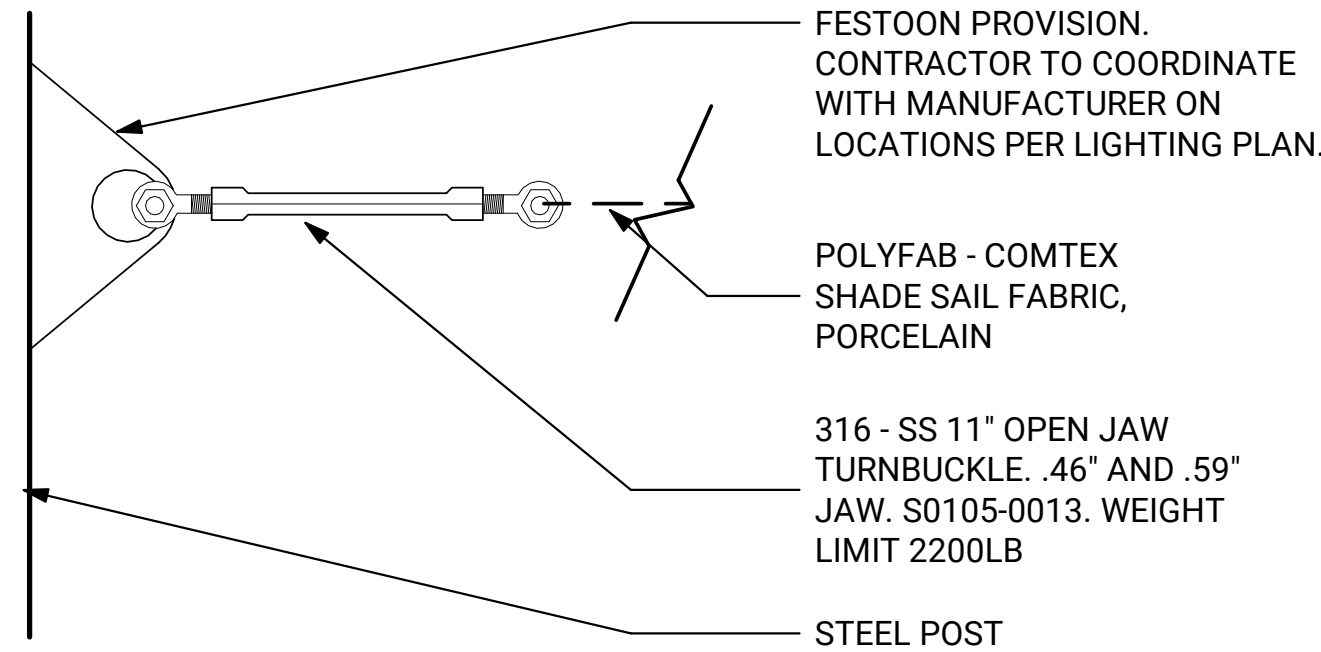
SHADE STRUCTURE
DETAILS

SHEET NUMBER

L505

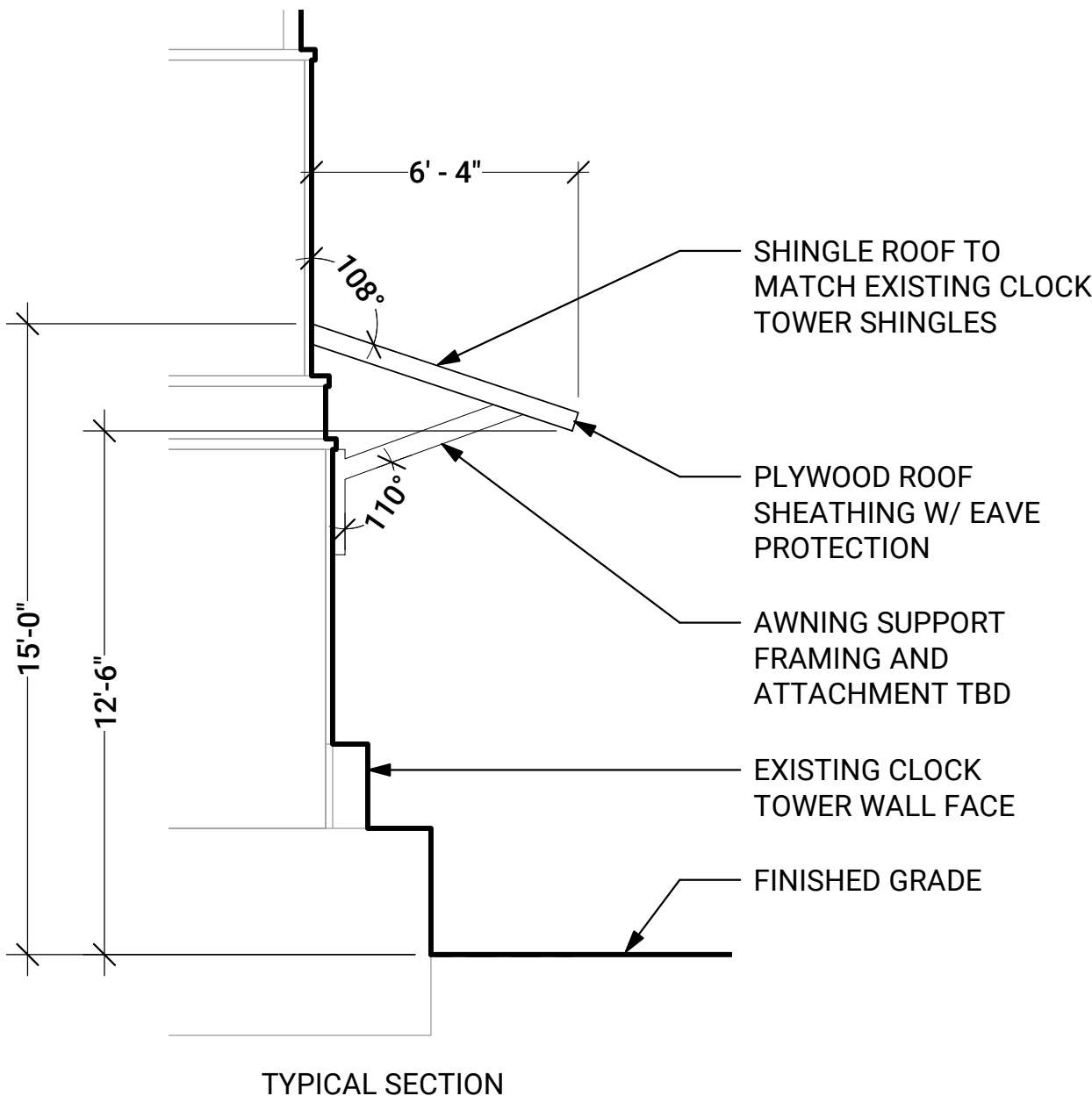


1 CATENARY LIGHT POLE
1" = 1'-0"

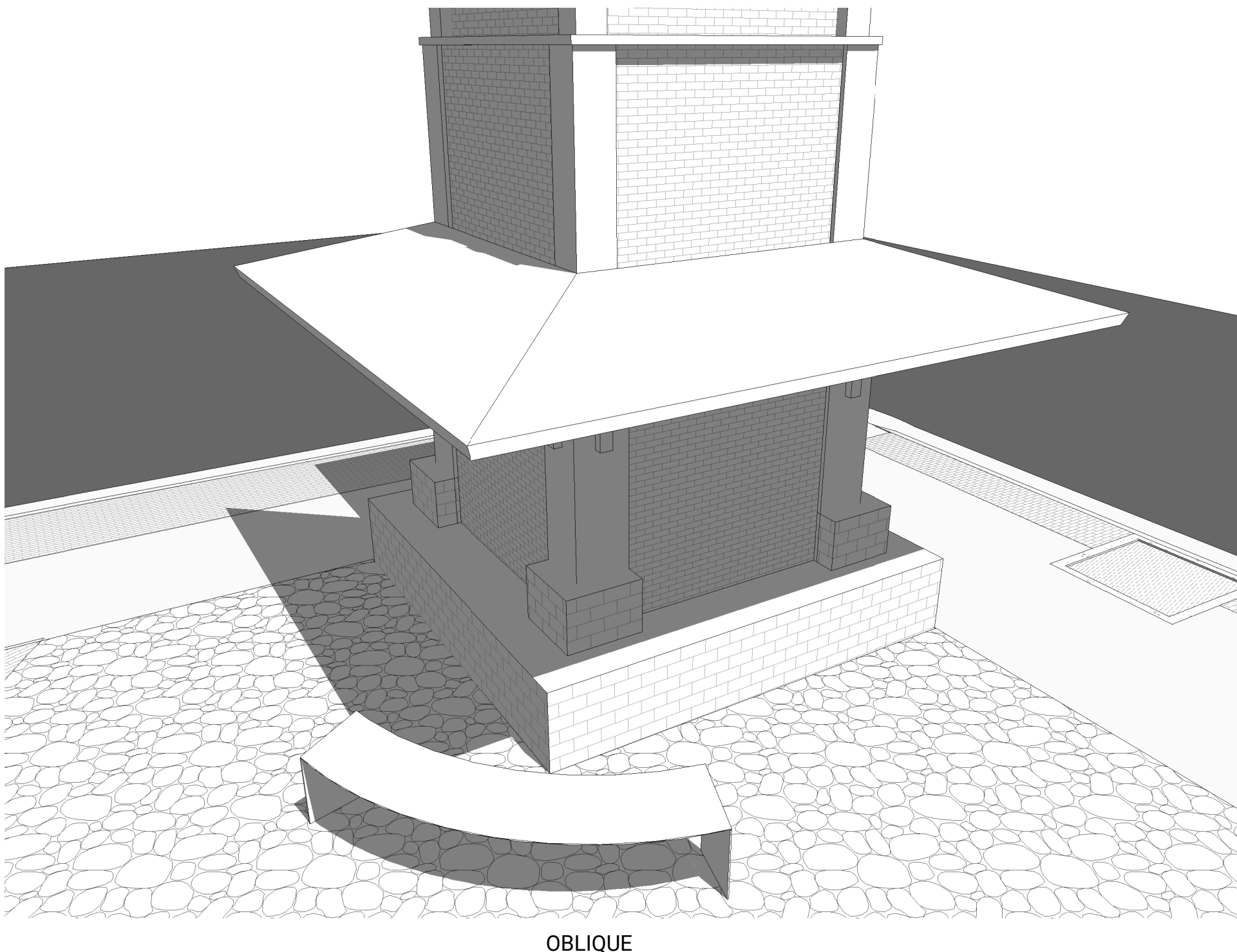


2 SHADE SAIL ANCHOR
3" = 1'-0"

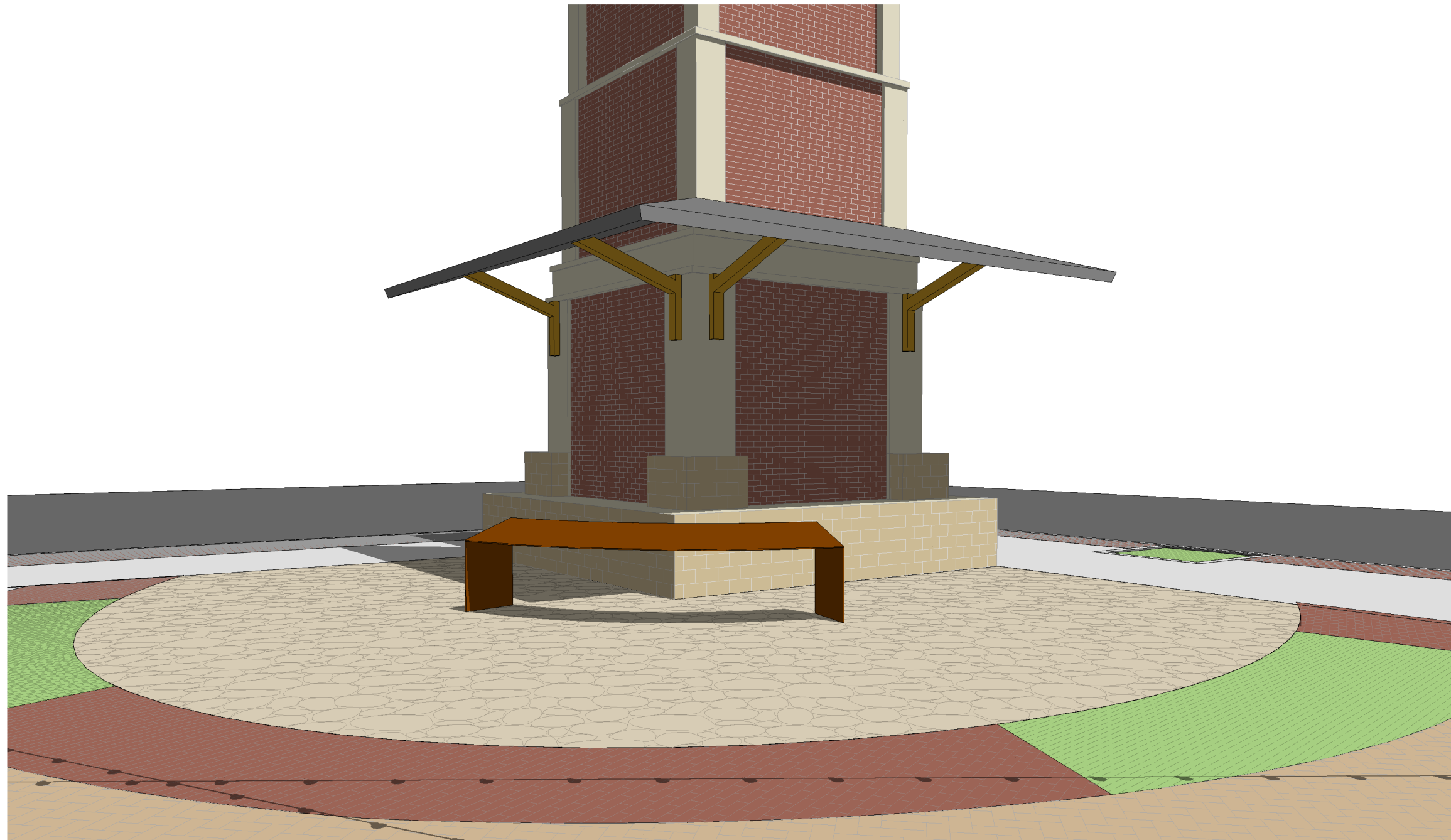
NOTES:
1. INSTALL PER MANUFACTURER'S INSTRUCTIONS
2. USE 7X9 3/8" GALV CABLE
3. COMTEX MEETS NFPA 701 - 2010 AND ASTM E-84 (CLASS 1 OR A RATING)
4. COORDINATE ATTACHMENT AND ANCHORING POINTS WITH ARCHITECTURE AND STRUCTURAL
5. CONTRACTOR TO VERIFY CABLE, TURNBUCKLE AND ANY OTHER ATTACHMENT MECHANISM WITH SHADE FABRIC MANUFACTURER/INSTALLER
6. POLYFAB COMTEX FABRIC COLOR: RUST



6 CLOCK TOWER AWNING
1/4" = 1'-0"



OBLIQUE



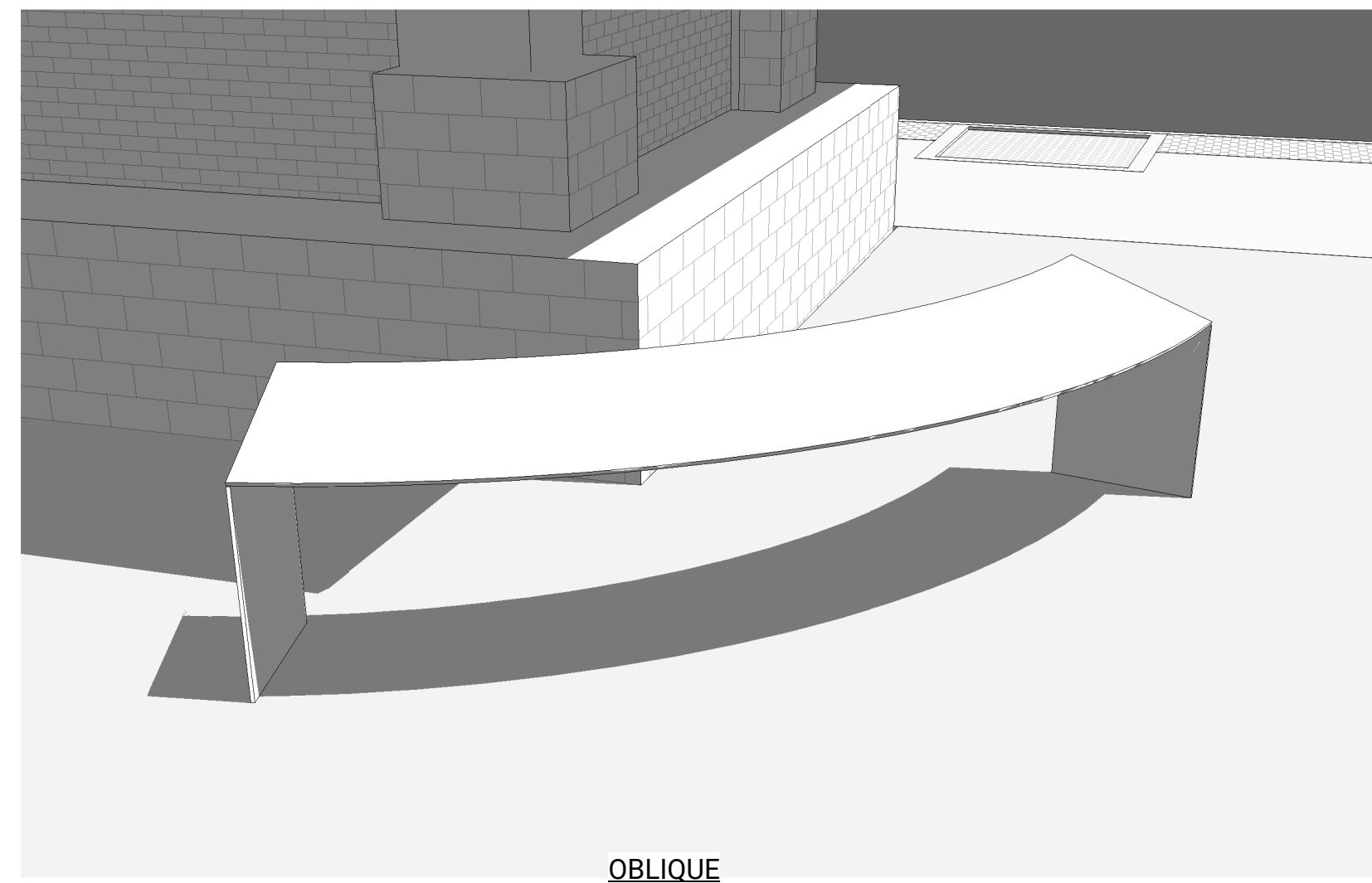
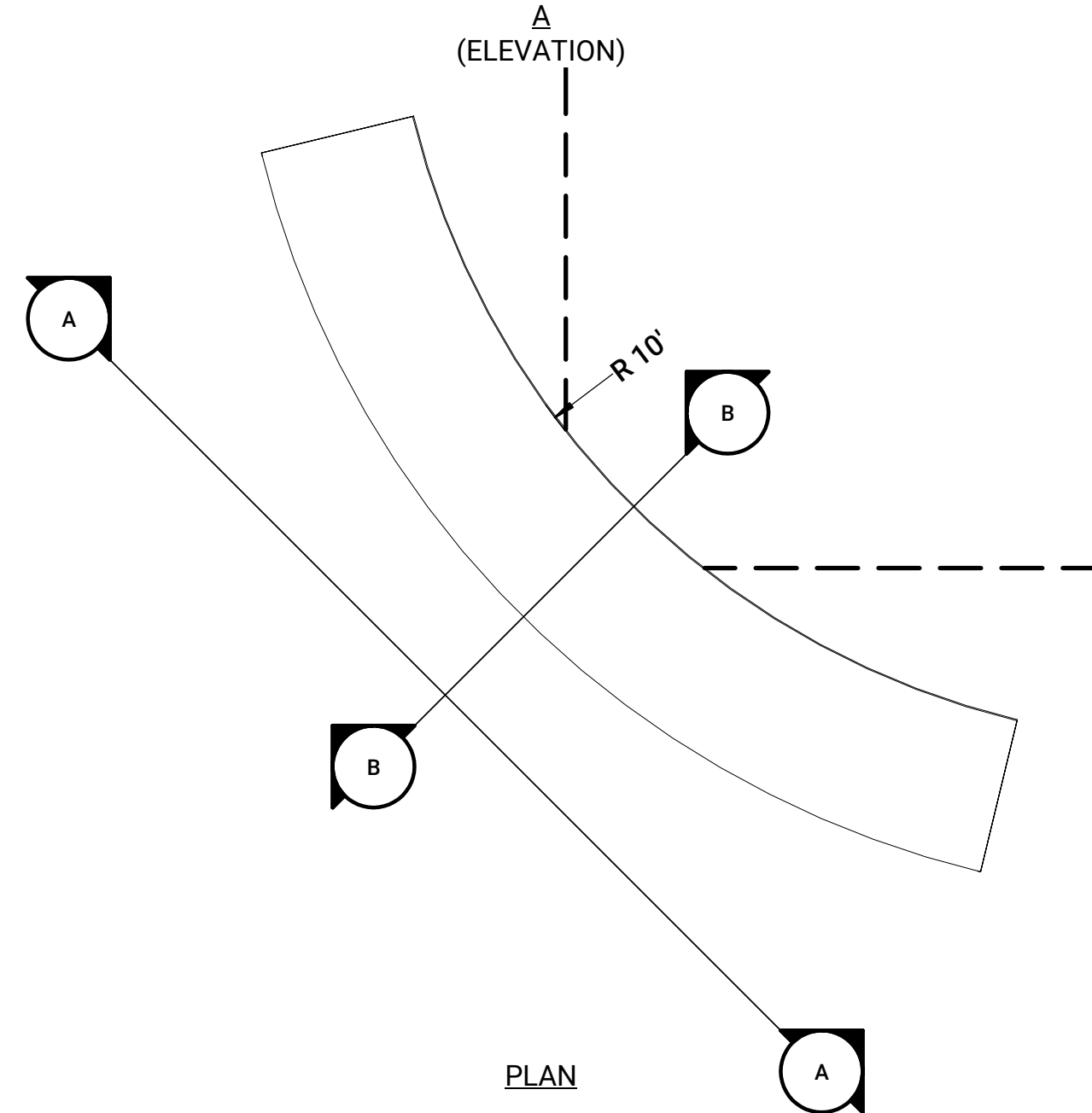
EYE-LEVEL ILLUSTRATIVE

DETAIL KEYNOTE INDEX		
KEYNOTE	DETAIL NAME	DTL. / SHT.
1.00	PAVING & SURFACING	
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CLOCK TOWER
PLAZA
232 MAIN STREET
CAÑON CITY, COLORADO

NO.	DATE	DESCRIPTION



232 MAIN STREET
CAÑON CITY, COLORADO

The technical drawing consists of three parts:

- Plan View (Top):** Shows a rectangular structure with a width dimension of $\frac{[715]}{28 \frac{1}{4}''}$.
- Side Elevation (Middle):** Shows a trapezoidal structure with a height dimension of $\frac{[816]}{32''}$ and a side slope angle of 15° . The base is labeled "GRADE". A vertical dimension of $\frac{[152]}{6''}$ is indicated at the bottom right.
- Detail (Right):** Shows a vertical member with a diameter dimension of $\varnothing 1 \frac{1}{2}''$ and the text "TUBING".

L507



MANUFACTURER: ROXBOX CONTAINERS
PRODUCT: 20' CANTEEN
DESCRIPTION: PAINTED CONTAINER W/PERSONAL DOOR, (2) AWNINGS, STAINLESS STEEL COUNTERTOPS, WINDOW AC UNIT, 50A PANEL, AND EPOXY FLOORING
DIMENSIONS: 20'L X 8'W X 8'6"H

NOTES: ABOVE IMAGE FOR EXAPLE ONLY - FINAL DOOR, WINDOW, AND FINISH SELECTION TBD

1

PRE-FABRICATED VENDER KIOSK

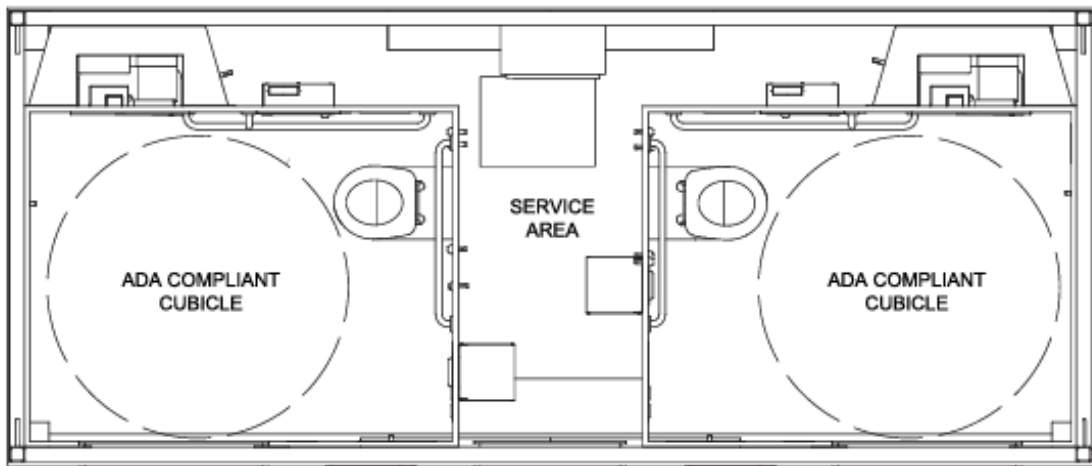
12" = 1'-0"

JUPITER TWIN

WIDTH: 18' 1"
DEPTH: 7' 7"

MANUFACTURER: EXELOO
PRODUCT: JUPITER TWIN
DESCRIPTION: (2) ADA-ACCESSIBLE RESTROOMS
W/SKILLION ROOF, FUTUREWOOD BATTEN EXTERIOR
DIMENSIONS: 18'1"L X 7'7"W

NOTES: RIGHT IMAGE FOR EXAMPLE ONLY - FINAL DOOR, INTERIOR, AND EXTERIOR FINISHES TBD



2

PRE-FABRICATED RESTROOM

12" = 1'-0"

DETAIL KEYNOTE INDEX

KEYNOTE	DETAIL NAME	DTL. / SHT.
1.00	PAVING & SURFACING	
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6.04	SHADE STRUCTURE	(5/ L504)



CLOCK TOWER
PLAZA

232 MAIN STREET
CAÑON CITY, COLORADO

REVISIONS / SUBMISSIONS

NO.	DATE	DESCRIPTION

ISSUE

50% PROGRESS SET

DATE: 08/31/2023

PROGRESS SET:
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CONSTRUCTION

SHEET INFORMATION

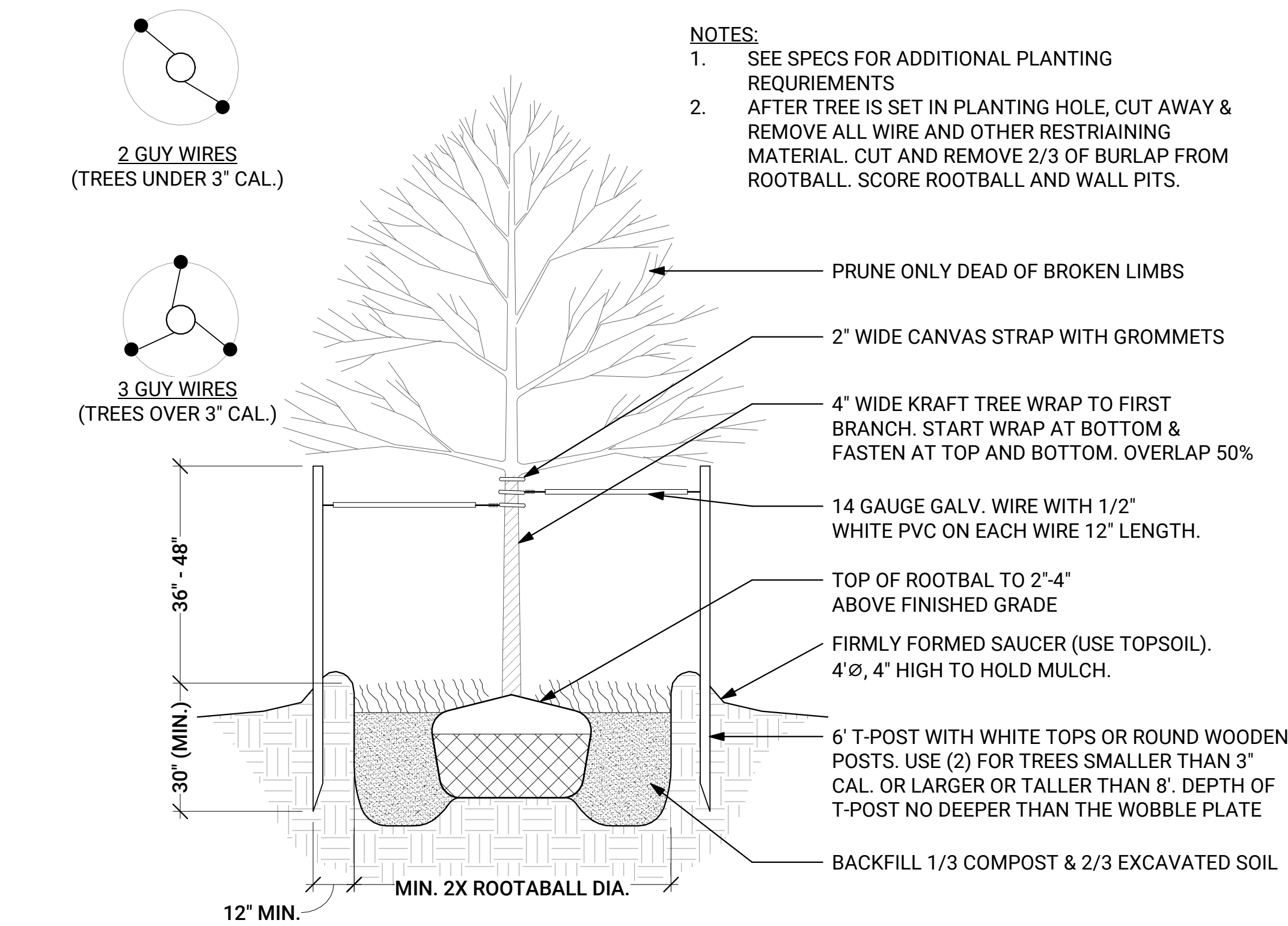
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CHECKED BY: WV

SHEET TITLE

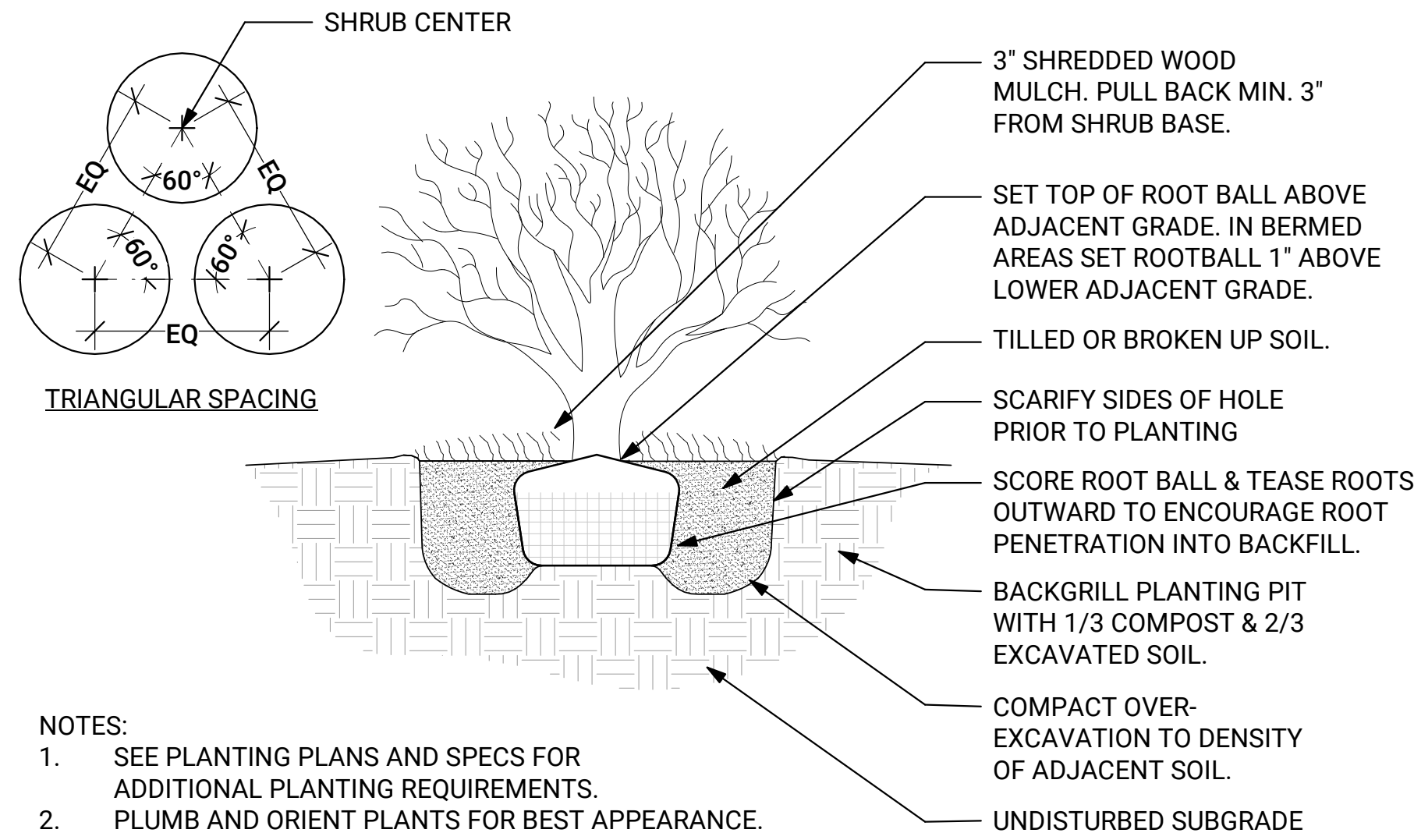
RESTROOM AND KIOSK
DETAILS

SHEET NUMBER

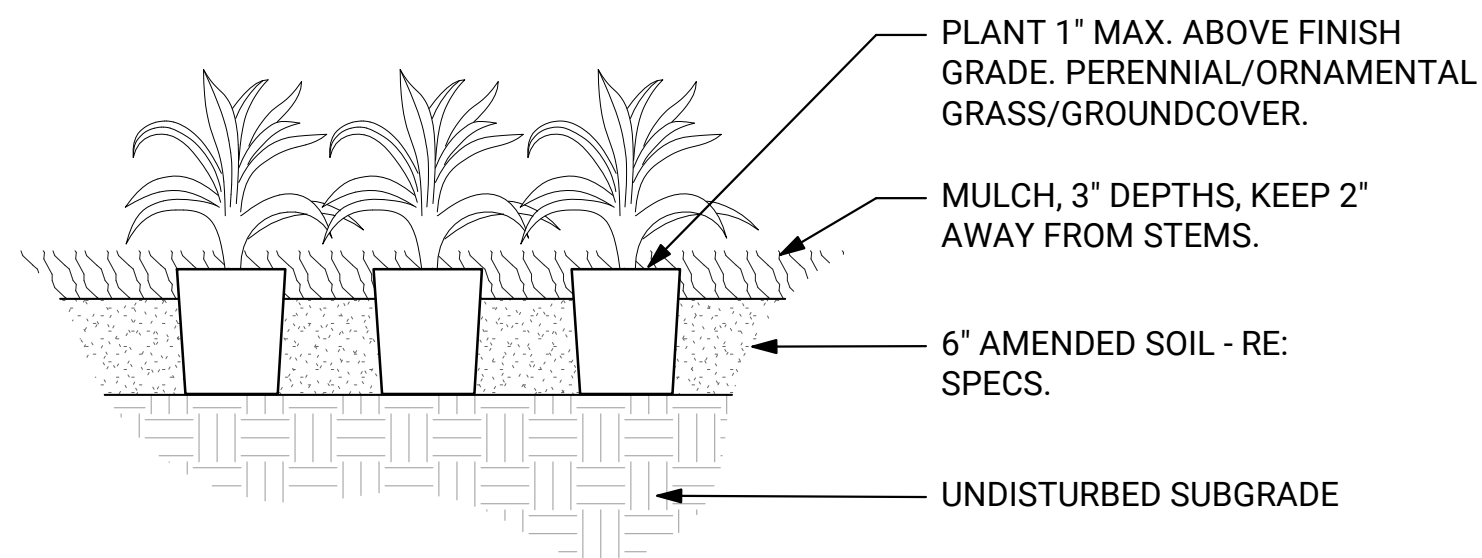
L508



1 TREE PLANTING, TYP.
12" = 1'-0"



2 SHRUB PLANTING, TYP.
1" = 1'-0"



3 UNDERSTORY PLANTING, TYP.
1" = 1'-0"

DETAIL KEYNOTE INDEX

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CLOCK TOWER PLAZA

232 MAIN STREET
CAÑON CITY, COLORADO

REVISIONS / SUBMISSIONS

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50% PROGRESS SET

DATE: 08/31/2023

**PROGRESS SET:
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CONSTRUCTION**

SHEET INFORMATION

DRAWN BY: CM, MRW
CHECKED BY: WV

SHEET TITLE

PLANTING DETAILS

SHEET NUMBER

L509



City of Cañon City
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CAÑON CITY, CO 81215



CLOCK TOWER PLAZA

232 MAIN STREET
CAÑON CITY, COLORADO

NO.	DATE	DESCRIPTION

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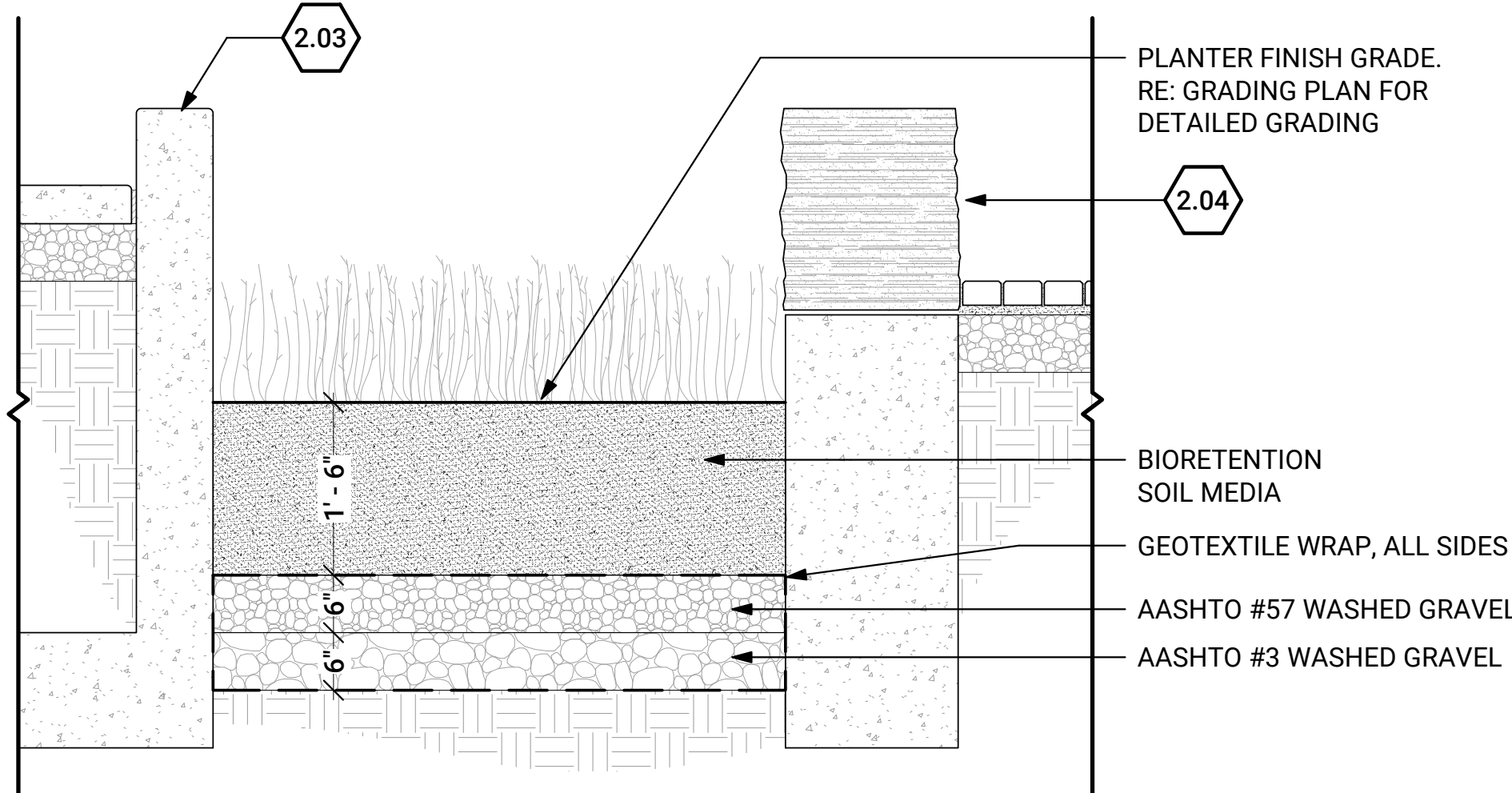
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PLANTING DETAILS

L510

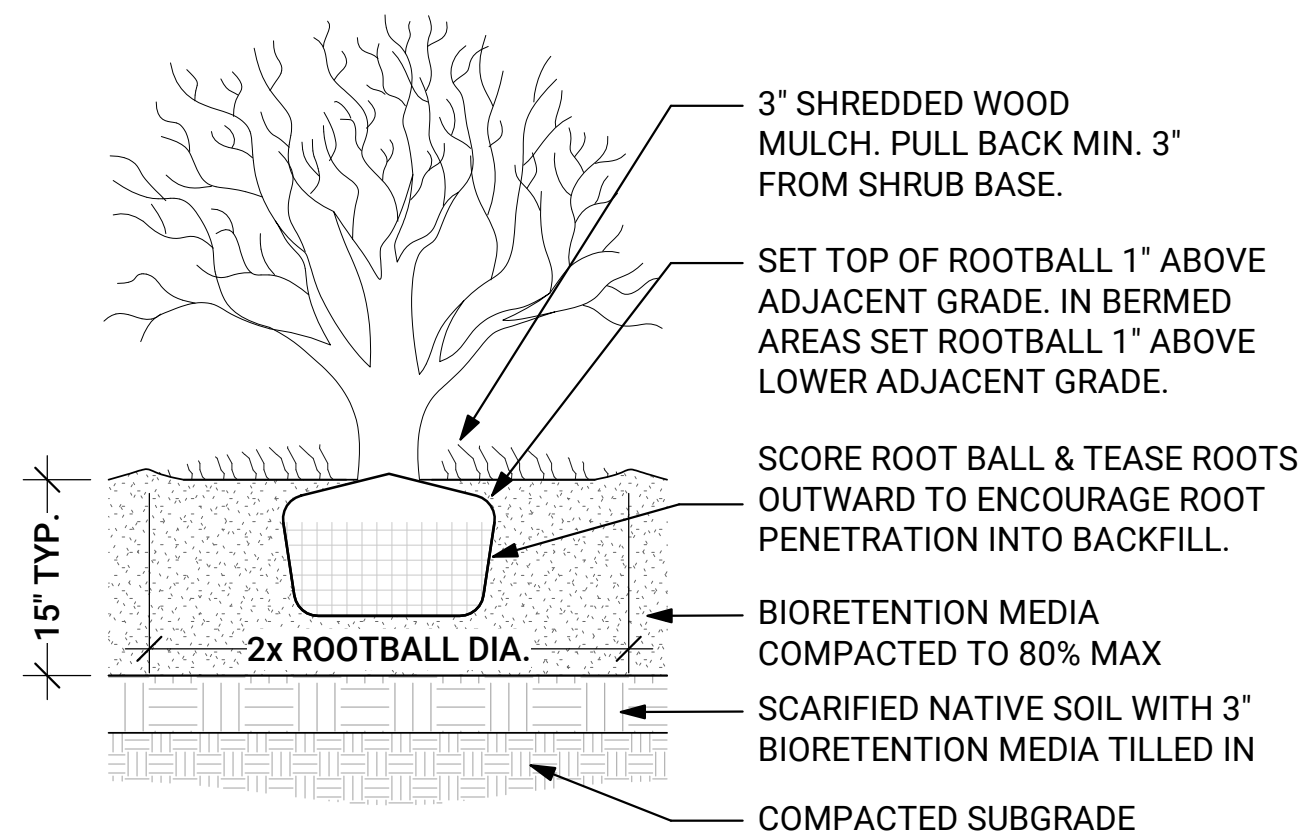
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6.04	SHADE STRUCTURE	(5/ L504)



1 RAIN GARDEN

3/4" = 1'-0"



GENERAL NOTES:

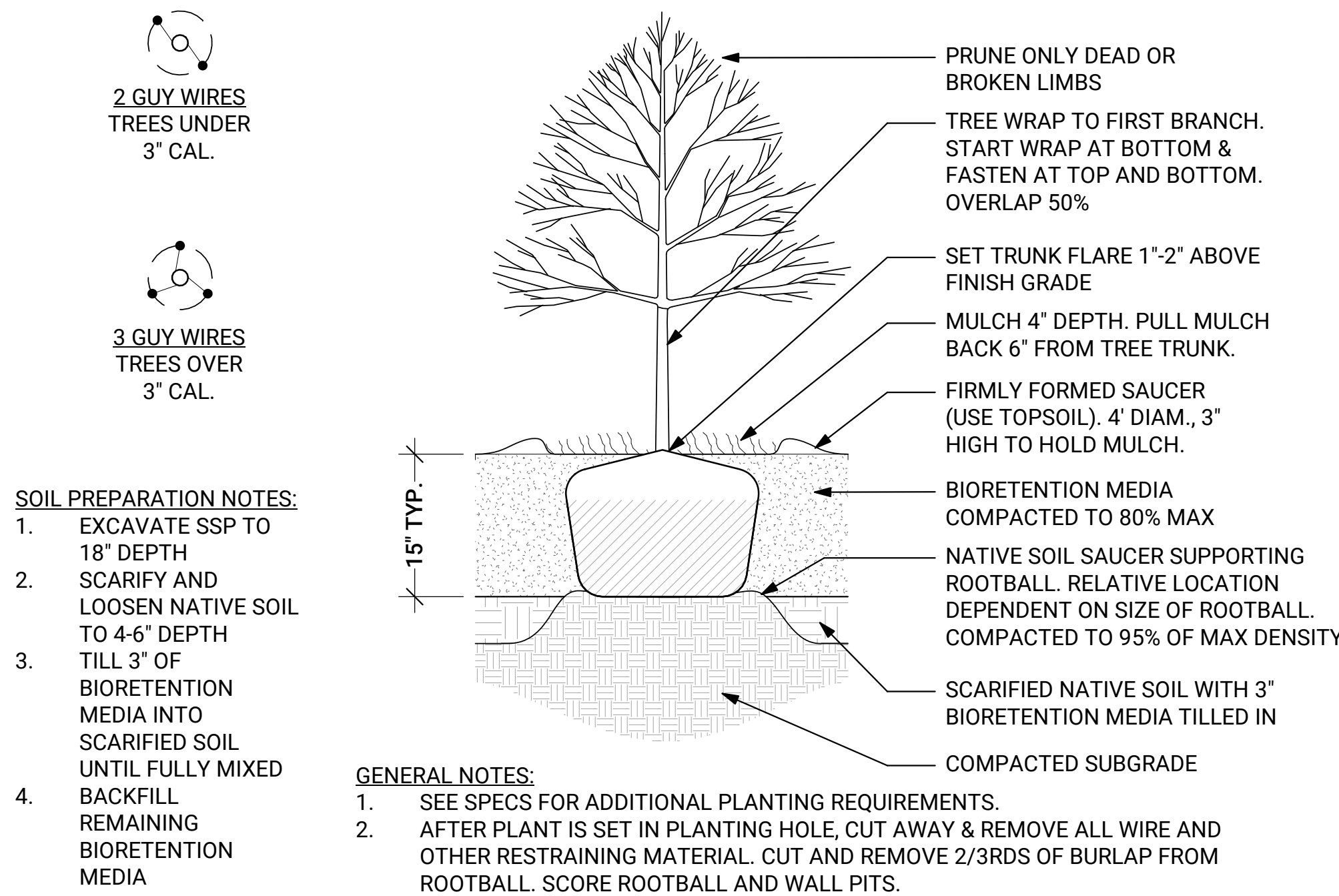
- SEE SPECS FOR ADDITIONAL PLANTING REQUIREMENTS.
- PLUMB AND ORIENT PLANTS FOR BEST APPEARANCE.
- REMOVE ALL TWINE FROM ROOT BALL, AND FOLD BURLAP BACK 2/3.
- REMOVE PLASTIC BURLAP ENTIRELY. FOR CONTAINER SHRUBS, CAREFULLY REMOVE CONTAINER AND SCORE ROOT BALL.
- SEE PLANTING PLAN FOR MORE INFORMATION.

SOIL PREPARATION NOTES:

- EXCAVATE SSP TO 18" DEPTH
- SCARIFY AND LOOSEN NATIVE SOIL TO 4-6" DEPTH
- TILL 3" OF BIORETENTION MEDIA INTO SCARIFIED SOIL UNTIL FULLY MIXED
- BACKFILL REMAINING BIORETENTION MEDIA

3 SHRUB PLANTING - RAIN GARDEN

1" = 1'-0"



SOIL PREPARATION NOTES:

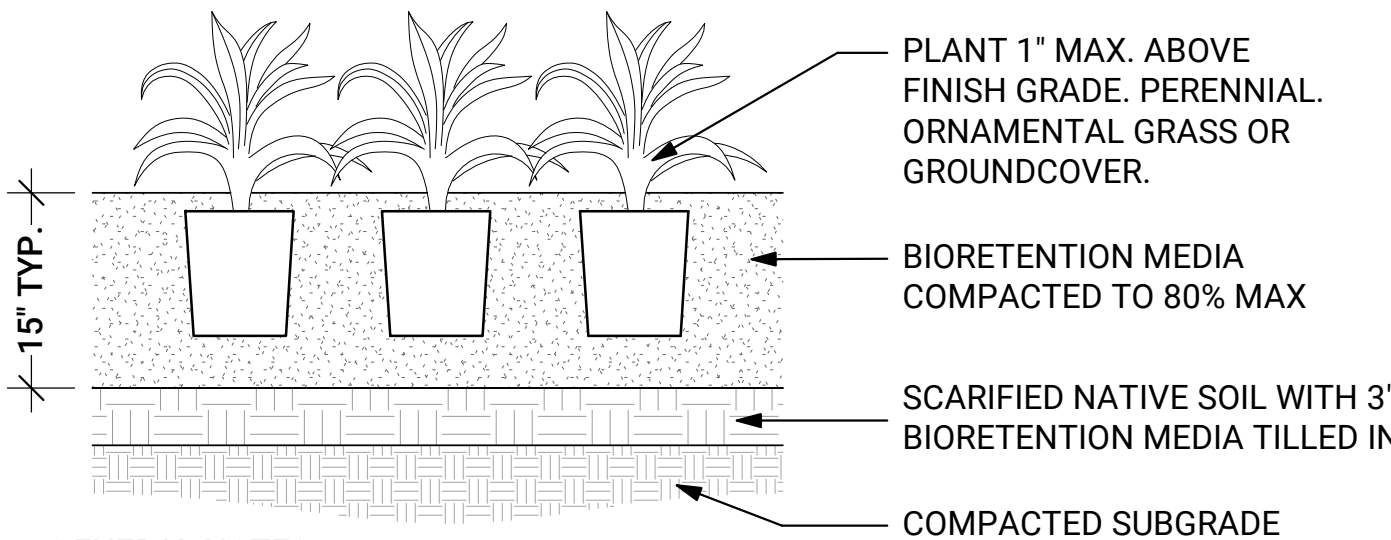
- EXCAVATE SSP TO 18" DEPTH
- SCARIFY AND LOOSEN NATIVE SOIL TO 4-6" DEPTH
- TILL 3" OF BIORETENTION MEDIA INTO SCARIFIED SOIL UNTIL FULLY MIXED
- BACKFILL REMAINING BIORETENTION MEDIA

GENERAL NOTES:

- SEE SPECS FOR ADDITIONAL PLANTING REQUIREMENTS.
- AFTER PLANT IS SET IN PLANTING HOLE, CUT AWAY & REMOVE ALL WIRE AND OTHER RESTRAINING MATERIAL. CUT AND REMOVE 2/3RDS OF BURLAP FROM ROOTBALL. SCORE ROOTBALL AND WALL PITS.

2 TREE PLANTING - RAIN GARDEN

1" = 1'-0"



GENERAL NOTES:

- PLUMB AND ORIENT PLANTS FOR BEST APPEARANCE.
- SPACING AS SPECIFIED IN PLANT LIST (SEE PLANS).
- PLACE PLANTS AROUND PLANTING BED EDGE FIRST, AND FILL INSIDE.
- CAREFULLY REMOVE CONTAINER AND SCORE ROOT BALL.
- SEE SPECS FOR ADDITIONAL PLANTING REQUIREMENTS.
- SPACE UNDERSTORY PLANTS MIN. 12" FROM TREE ROOT BALLS. DO NOT PLANT ON TOP OF OR DIRECTLY ADJACENT TO TREE ROOT BALLS.

SOIL PREPARATION NOTES:

- EXCAVATE SSP TO 18" DEPTH
- SCARIFY AND LOOSEN NATIVE SOIL TO 4-6" DEPTH
- TILL 3" OF BIORETENTION MEDIA INTO SCARIFIED SOIL UNTIL FULLY MIXED
- BACKFILL REMAINING BIORETENTION MEDIA

4 UNDERSTORY PLANTING - RAIN GARDEN

1" = 1'-0"